



AGENDA ITEM SUMMARY

Agenda Item:

Person Submitting Item:

Background and Summary:

Budget Source:

Strategic Plan Alignment:

Recommendation:



PURCHASING UNIVERSAL REQUEST

BLUE VALLEY SCHOOL DISTRICT #229

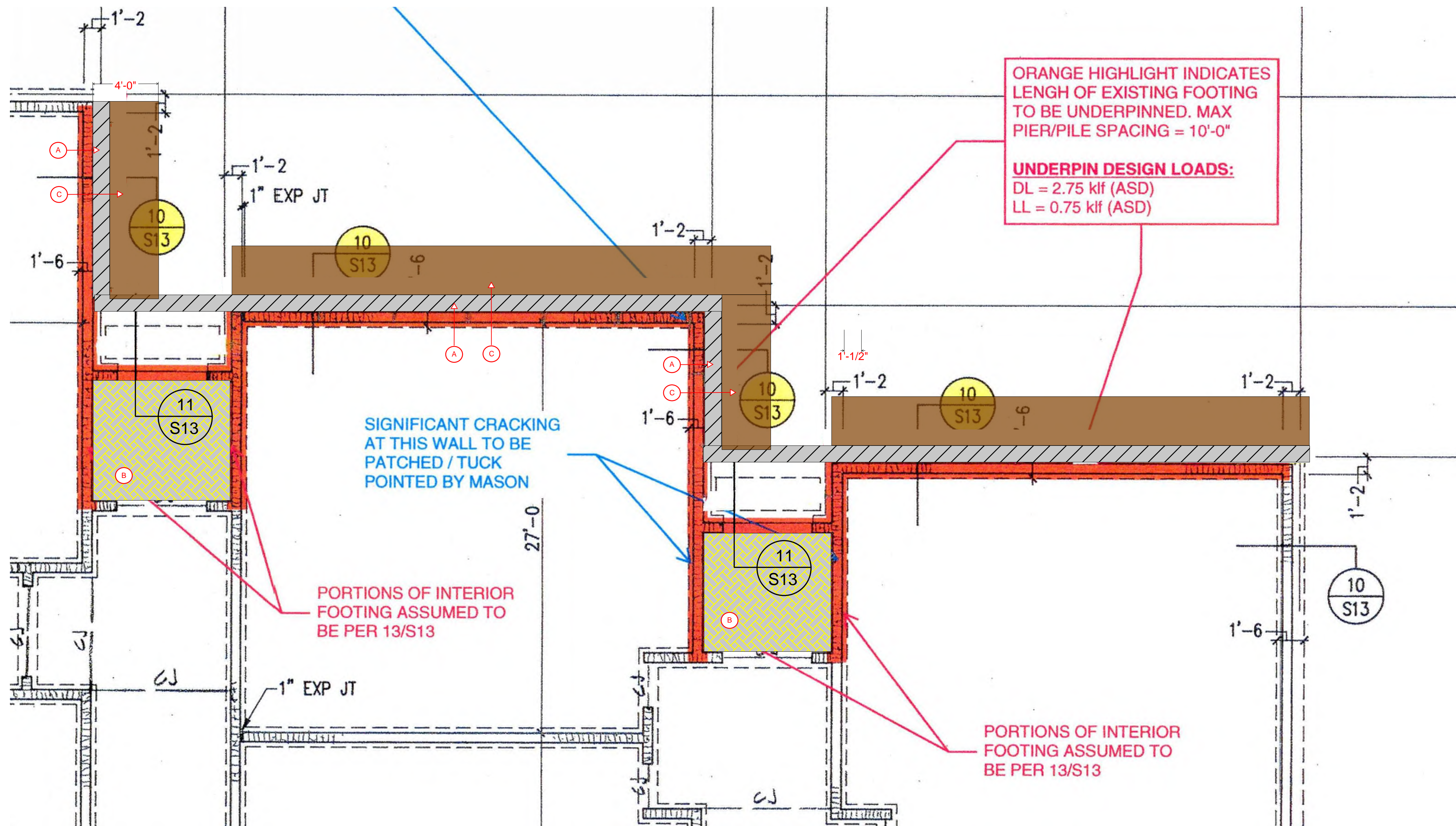
Department/Bldg.:		Requested By:	
Purpose: (please explain in detail why we need the items or services requested)			
Fund:		Account Number:	
Funding Year:		Location(s) items or services are for:	
Does this use Bond Funds? (if yes, see below)			
<input type="checkbox"/> This request includes extended warranty, service or maintenance. Please complete the <u><i>Bond Warranty Agreement Form on page 2</i></u>		<input type="checkbox"/> This request includes training or consultation. Please complete <u><i>Bond Consultant Services Form on Page 3</i></u>	

Check all that apply to this Purchase:

- | | |
|---|--|
| <input type="checkbox"/> This is a New Contract | <input type="checkbox"/> This is a New Bid/RFP |
| <input type="checkbox"/> This is a Renewal Contract | <input type="checkbox"/> This is a Purchase from Bid/RFP # _____ |
| <input type="checkbox"/> This is a Curriculum purchase | <input type="checkbox"/> This Purchase requires BOE Signatures |
| <input type="checkbox"/> This can be purchased off of _____ | Contract # _____ |

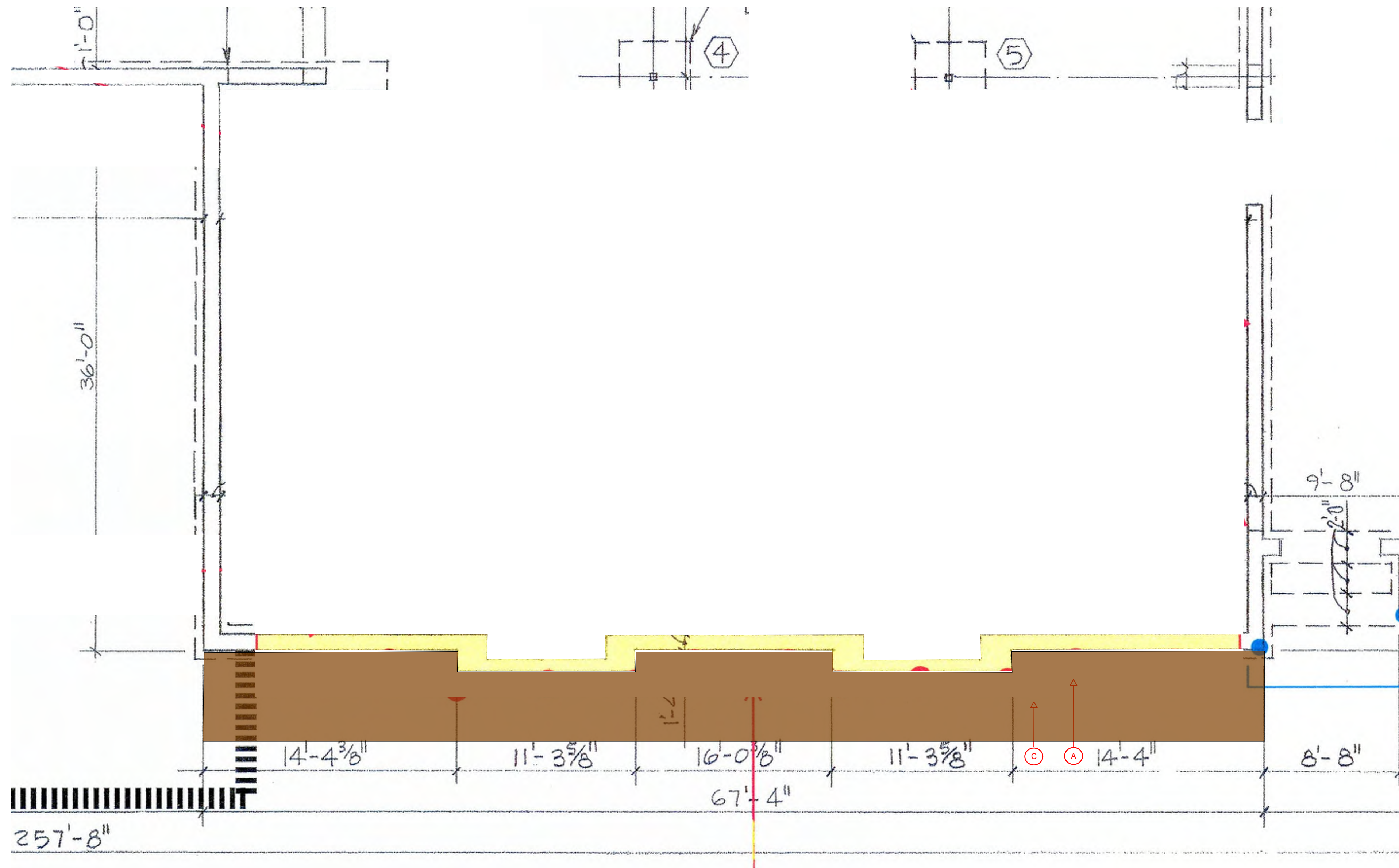
Begin Date:	End Date:
Company:	Street Address:
Contact Name:	City:
Telephone:	State:
Email:	Zip Code:
Cost:	
Prior Year Cost:	
Terms: (Annual, Multi-Year, One-Time):	

Month:(board meeting) _____ **Budget Administrator** _____ **Date** _____



LEGEND

- (A) 310 - Saw cut, remove and dispose of 1' wide concrete mow strip. Haul off site.
- (B) UCC - Demo and dispose of existing carpet tile. Saw cut and demo interior concrete slab. Stock Pile concrete outside for haul off by 310. Demo wall base. 310 - Excavate area approx 3' deep (to bottom of footing) in this vestibule. Additionally Haul off concrete material stockpiled by others. Backfill with salvaged soil once foundation piers have been installed. (Piers installed by others).
- (C) 310 - Excavation 4' wide by approx 3' deep (to bottom of footing). Stock pile earth at distance that is at least 4' from the edge of the excavation. Salvage material for re-installation following the completion of piers (piers are by others)



LEGEND

- ⓐ 310 - Excavation 4' to 5' wide by approx 3'-4" deep (to bottom of footing). Stock pile earth at distance that is at least 4' from the edge of the excavation. Demo and dispose of trees and landscaping as required. Salvage soil material for re-installation following the completion of piers (piers are by others)



Universal
Construction
Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064

(913) 342-1150

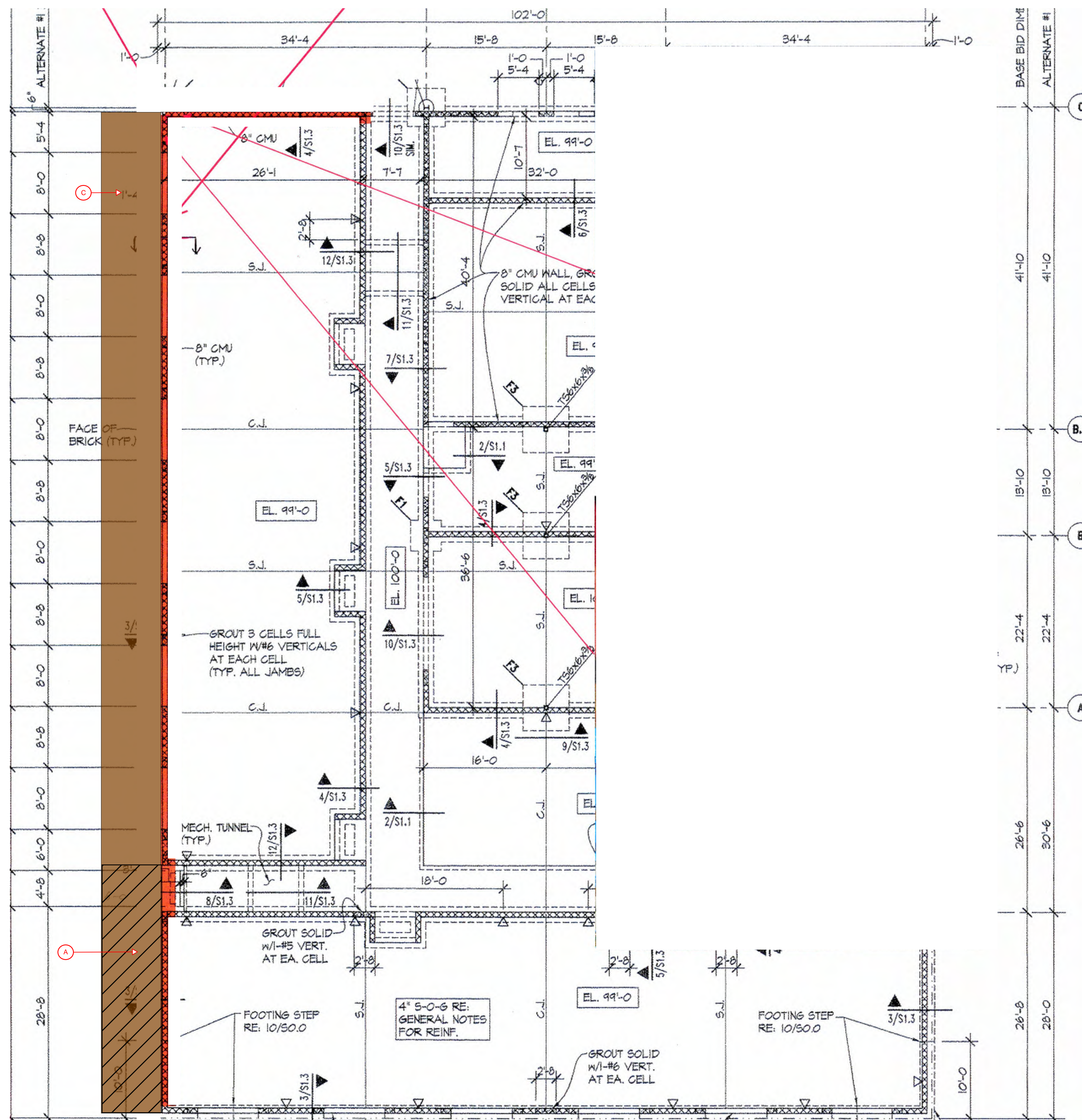
Project:
2026 BV Foundation Repairs
Oxford Middle School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

PAGE DETAILS
SCALE: 1/4" = 1'-0"

Sheet:
D110
OM Demo Plan



LEGEND

- Ⓐ 310 - Saw cut, remove and dispose of 4' wide concrete sidewalk. Haul off site.
- Ⓒ 310 - Excavation 4' wide by approx 3' deep (to bottom of footing). Stock pile earth at distance that is at least 4' from the edge of the excavation. Salvage material for re-installation following the completion of piers (piers are by others)

TOP/FOOTING
2'-0" BELOW
EL. 100'-0"

PAGE DETAILS
SCALE: 1/8" = 1'-0"



**Universal
Construction
Company Inc**

2320 NE Independence Ave
Lee's Summit, MO 64064
(913) 342-1150

Project:
2026 BV Foundation Repairs
Liberty View Elementary School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

Sheet:
D120
LVE Demo Plan



Universal Construction Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064
(913) 342-1150

Project:
2026 BV Foundation Repairs
Liberty View Elementary School

Owner:
Blue Valley School District

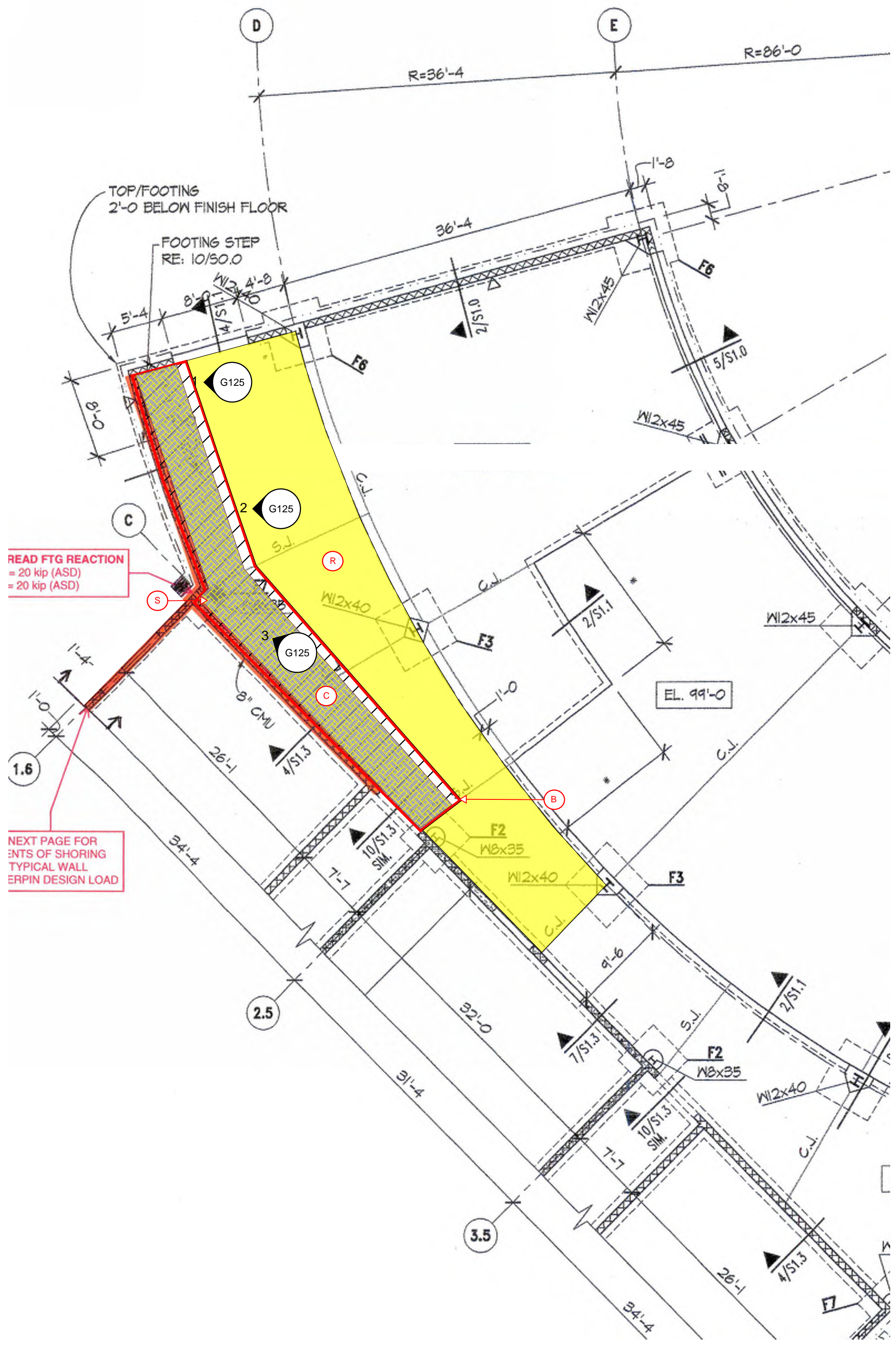
Date: 2/16/2026
Drawn By: Archie Smith

Revisions:
1 ADD #1 - 2/23/26

Sheet:
D125
LVE Demo Plan

LEGEND

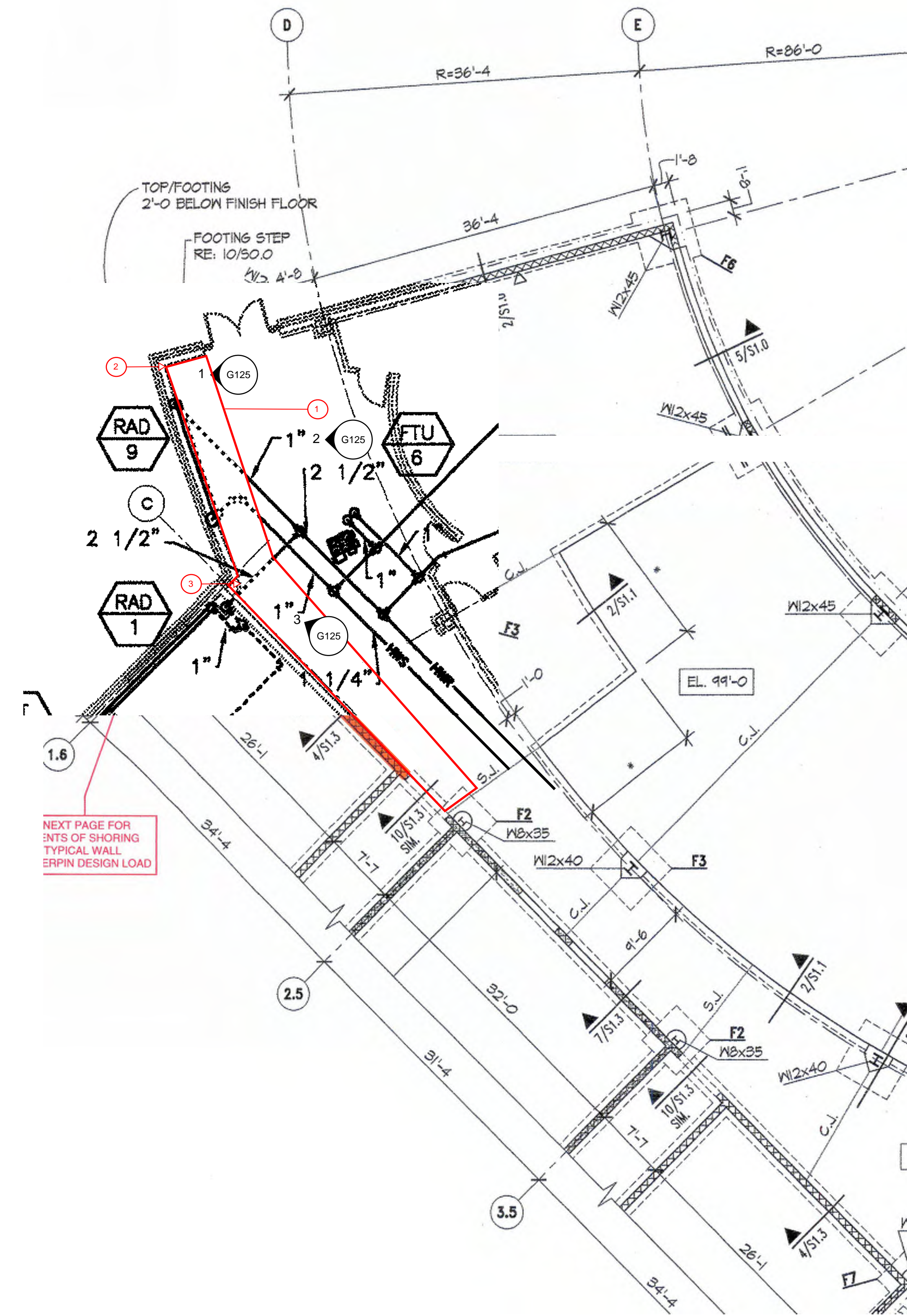
- ⓑ UCC - Saw cut and demo interior concrete slab. Stock Pile concrete outside for haul off by 310. Demo wall base. 310 - Haul off material stockpiled by others.
- ⓒ 310 - Excavation 4' wide by approx 3' deep (to bottom of footing). Stock pile earth at distance that is at least 4' from the edge of the excavation. Salvage material for re-installation following the completion of piers (piers are by others)
- ⓓ UCC - Demo existing VCT and rubber base in this area. Do not remove existing blue accent VCT along inside radius of hallway.
- ⓔ **UCC - Demo** existing block from mechanical chase and **salvage** conduit for t-stat for reuse.



READ FTG REACTION
= 20 kip (ASD)
= 20 kip (ASD)

NEXT PAGE FOR
SNTS OF SHORING
TYPICAL WALL
ERPIN DESIGN LOAD

PAGE DETAILS
SCALE: 1/8" = 1'-0"



LEGEND

- ① 220 - Demo existing underslab copper water piping as required to allow for excavation and foundation improvements work inside this area. Slab removed by others.
- ② 220 - Salvage existing sheetmetal HVAC decorative duct drop for reinstallation following foundation repair work.
- ③ 220 - Salvage wired t-stat for reinstallation.



Universal Construction Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064
(913) 342-1150

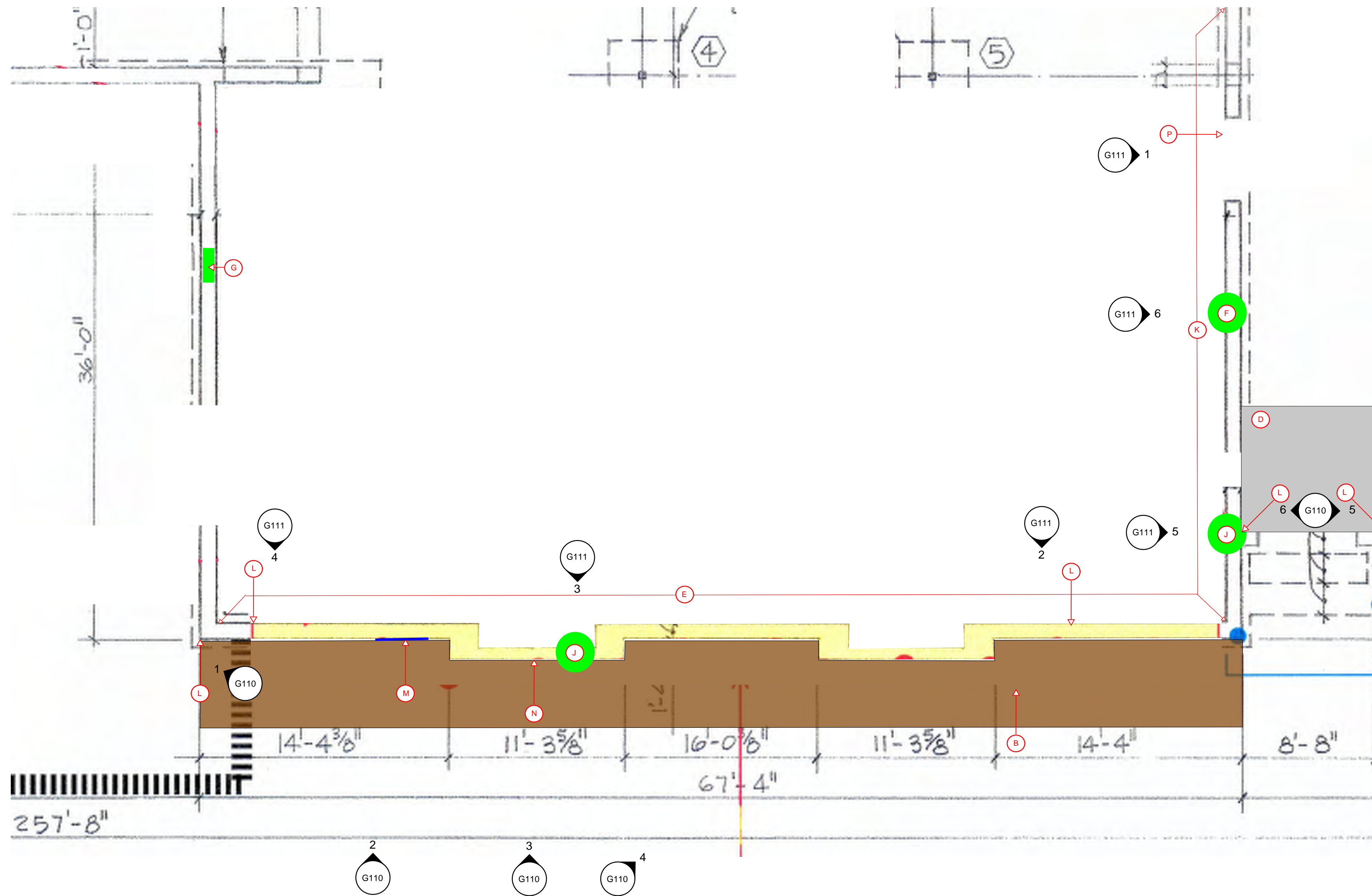
Project:
2026 BV Foundation Repairs
Liberty View Elementary School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

PAGE DETAILS
SCALE: 1/8" = 1'-0"

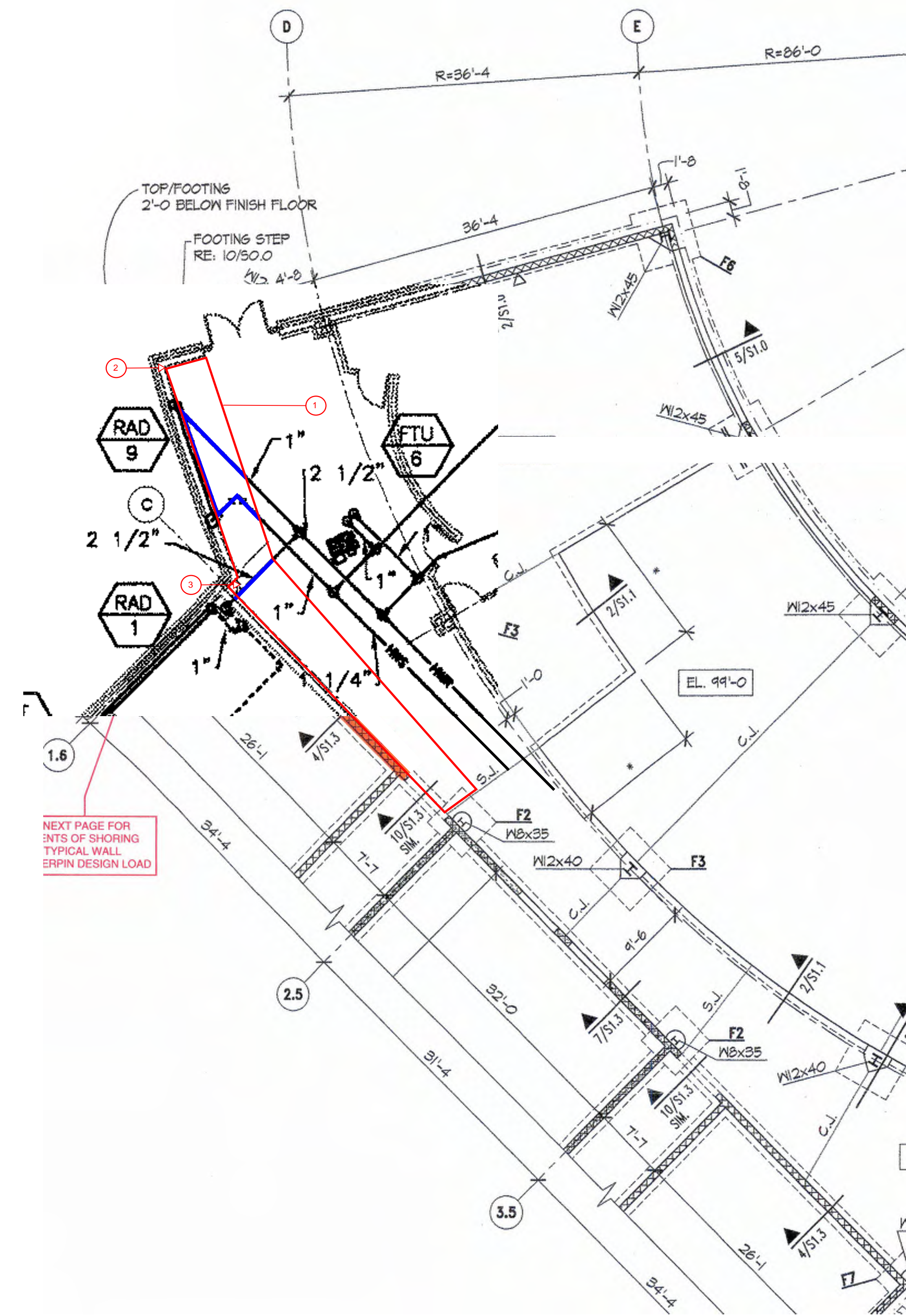
Sheet:
DP125
LVE Demo Plumbing /
HVAC Plan



LEGEND

- ⓑ 310 - Back fill and compact 4' wide by approx 3' deep trench with on site materials. Seed and straw disturbed areas.
- ⓓ 099 - Paint all walls these rooms. (9'-0 AFF).
- ⓔ 099 - Paint wall corner to corner as shown. (14'-0 AFF).
- ⓕ 042 - Patch and repair CMU block walls as required both sides of wall.
- ⓖ 042 - Patch and repair 4 courses of CMU block above ceiling.
- ⓙ 042 - Patch and repair CMU block walls as required at inside face of wall.
- Ⓚ 099 - Paint wall corner to corner as shown approx 69'-2". (14'-0 AFF).
- Ⓛ 042 - Repair and/or caulk cracked mortar joints.
- Ⓜ 042 - Repair / rework settled brick and joints at this section.
- Ⓝ 042 - Repair cracked masonry joints above window.
- Ⓟ 042 - Repair cracked masonry joints above door.





LEGEND

- ① 220 - Install new underslab copper water piping as required in this area. Connect to existing piping and radiant heat units as needed. Include excavation/back fill as needed.
- ② 220 - Reinstall and connect existing sheetmetal HVAC decorative duct drop to existing ductwork above ceiling as required.
- ③ 220 - Reinstall salvage wired t-stat in existing raceway.

NEXT PAGE FOR
SETS OF SHORING
TYPICAL WALL
ERPIN DESIGN LOAD

PAGE DETAILS
SCALE: 1/8" = 1'-0"



Universal
Construction
Company Inc

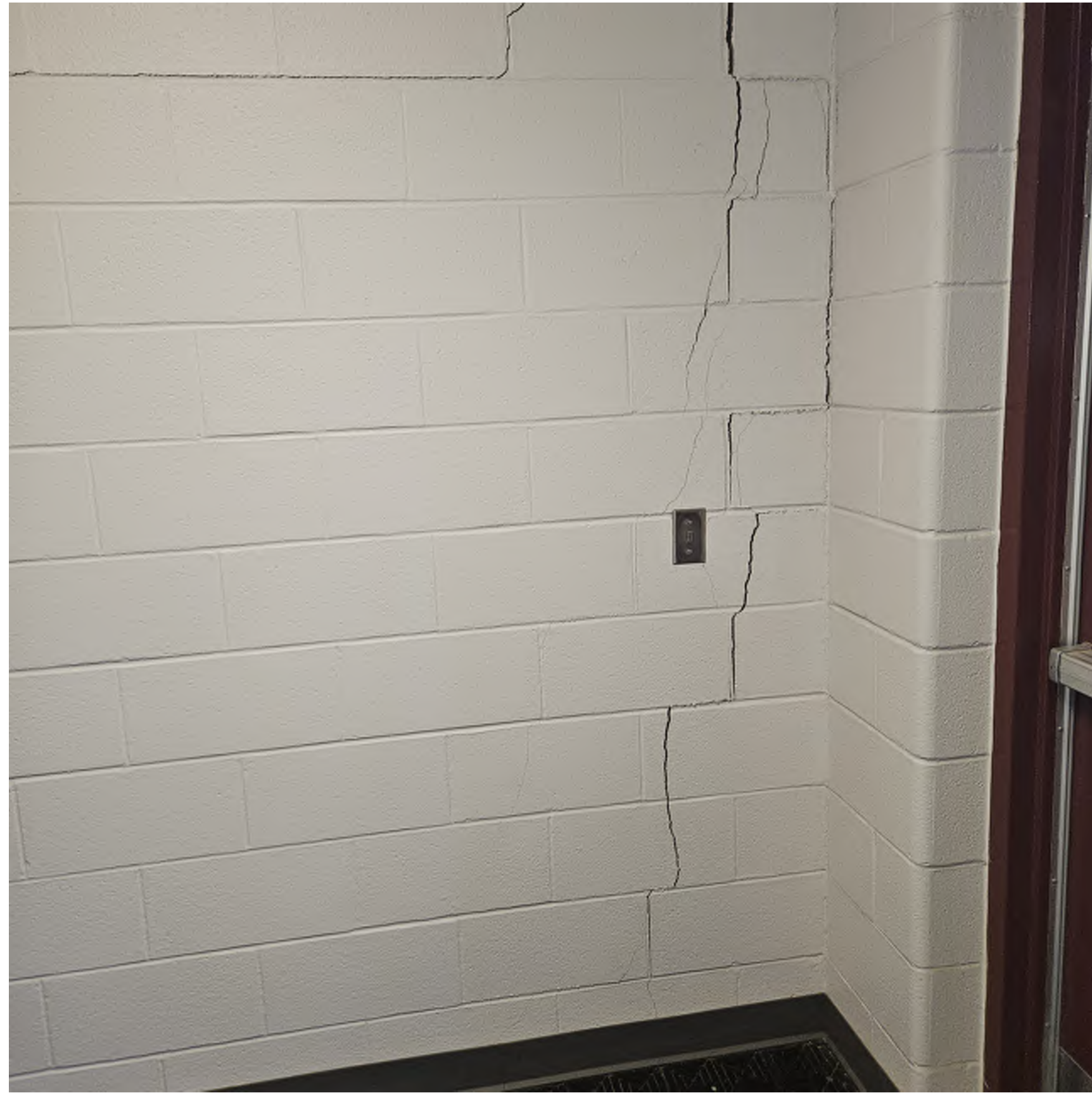
2320 NE Independence Ave
Lee's Summit, MO 64064
(913) 342-1150

Project:
2026 BV Foundation Repairs
Liberty View Elementary School

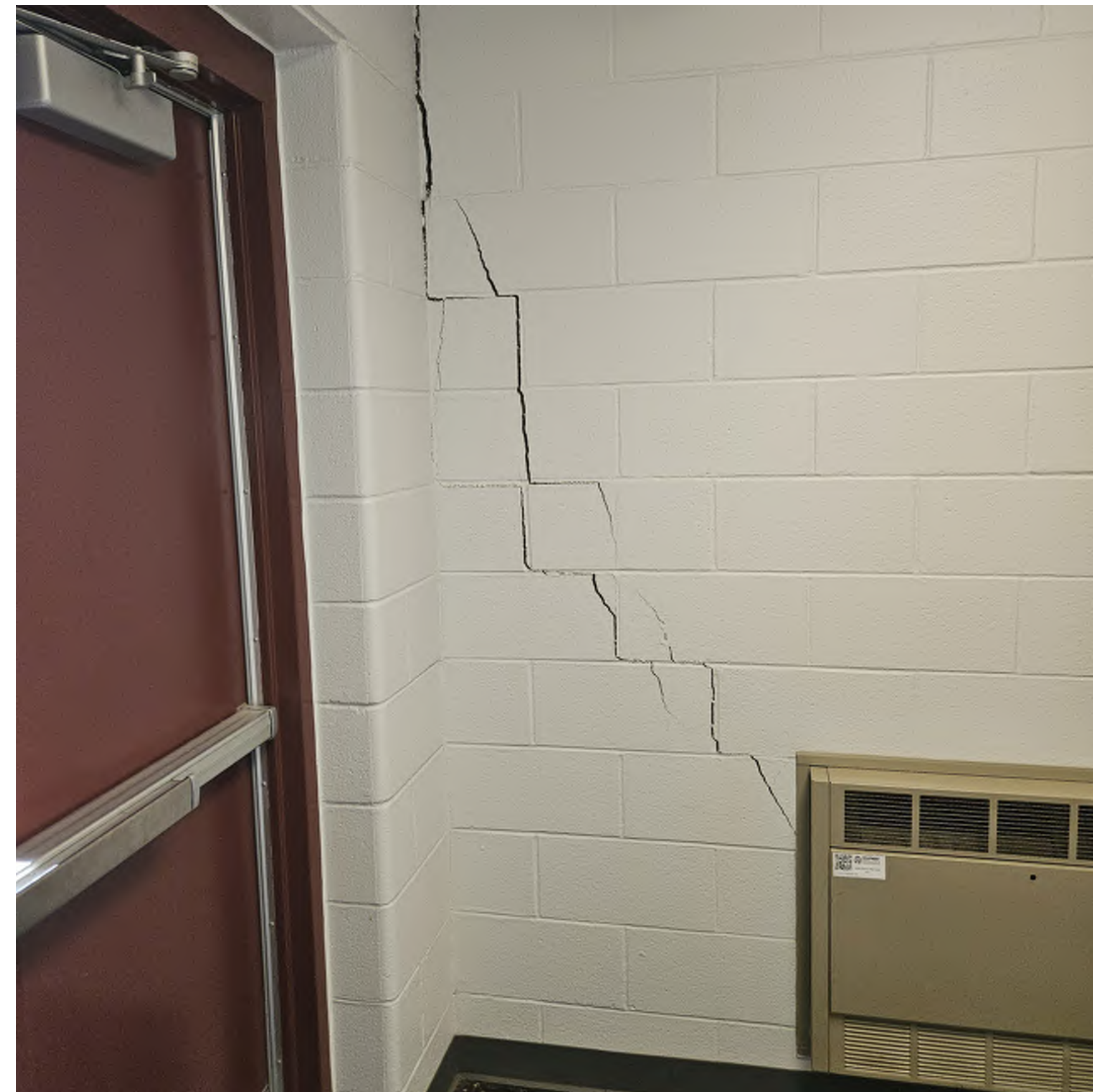
Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

Sheet:
P125
LVE Plumbing /
HVAC Plan



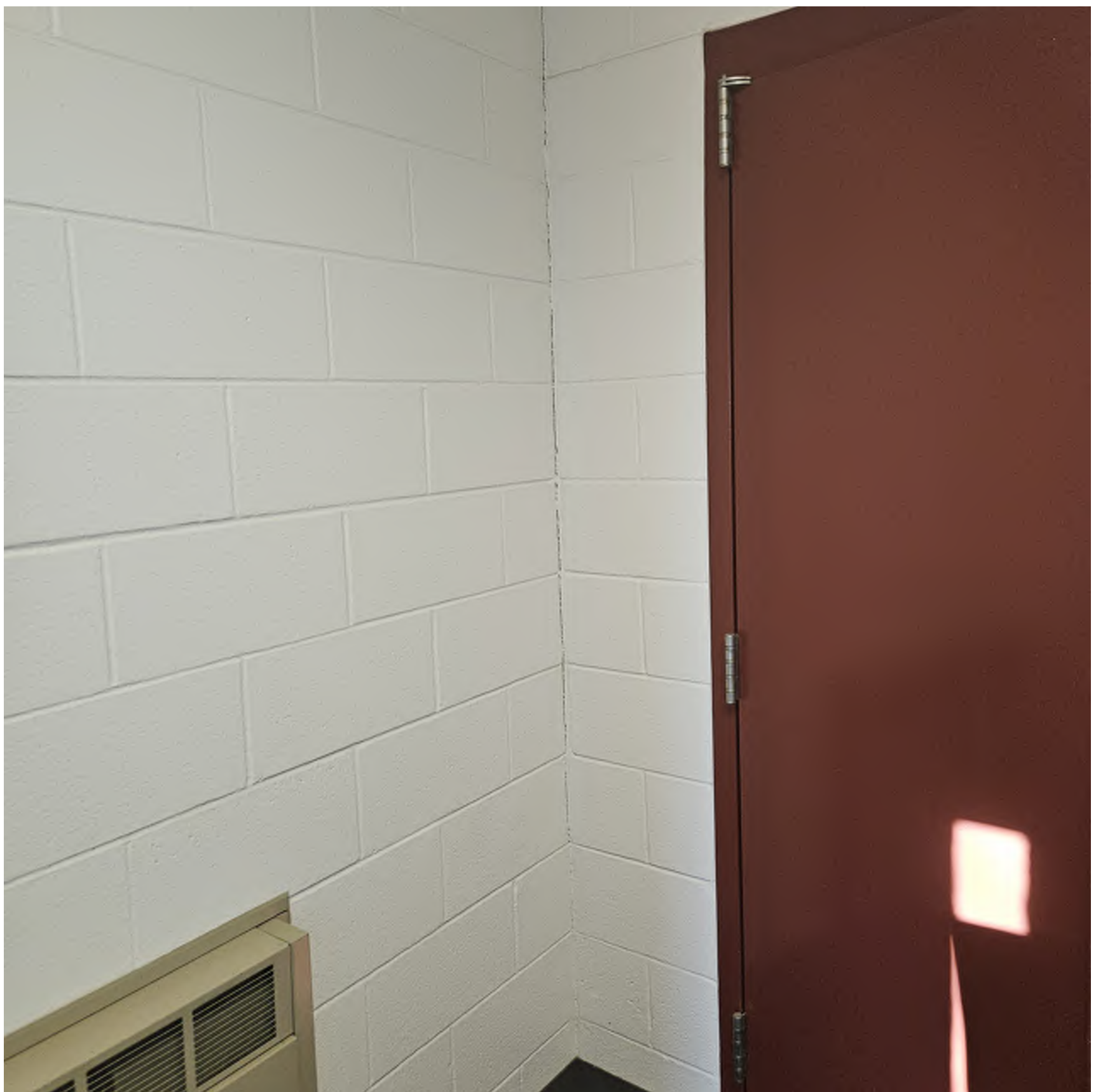
1 EXISTING CRACKED MASONRY
G100



2 EXISTING CRACKED MASONRY
G100



3 EXISTING CRACKED MASONRY
G100



4 EXISTING CRACKED MASONRY
G100



5 EXISTING CRACKED CMU / TACKBOARD
G100



6 EXISTING CRACKED CMU / TACKBOARD
G100



Universal
Construction
Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064

(913) 342-1150

Project:
2026 BV Foundation Repairs
Overland Trail Middle School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

Sheet:
G100
OTM Existing
Conditions



1
G110 EXISTING CORNER CRACKED JOINT



2
G110 EXISTING CRACKED BRICK/JOINTS



3
G110 CRACKED JOINTS ABOVE WINDOW



4
G110 EXISTING LANDSCAPING



5
G110 EXISTING CRACKED JOINTS



6
G110 EXISTING CRACKED JOINTS



Universal
Construction
Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064

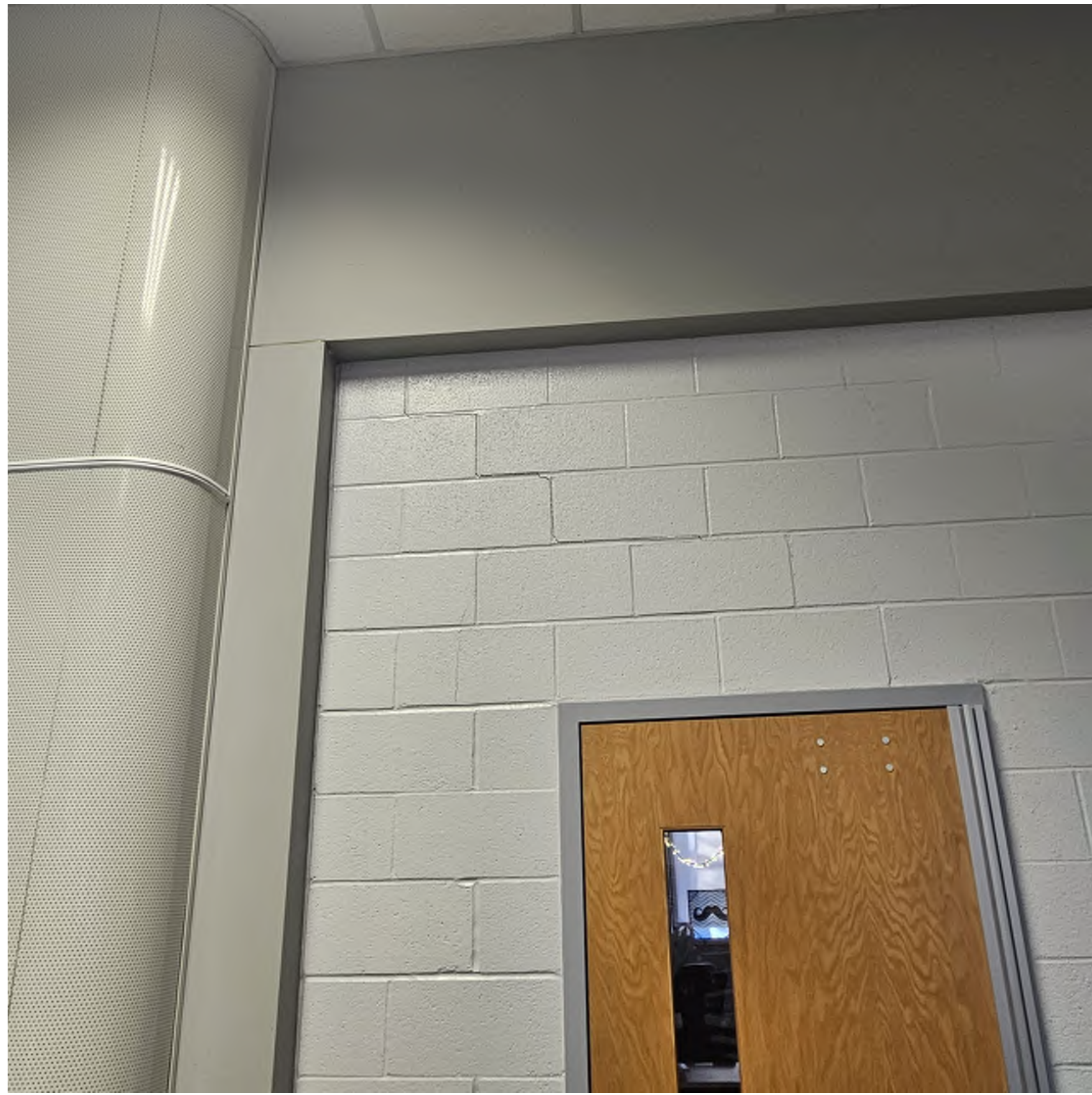
(913) 342-1150

Project:
2026 BV Foundation Repairs
Oxford Middle School

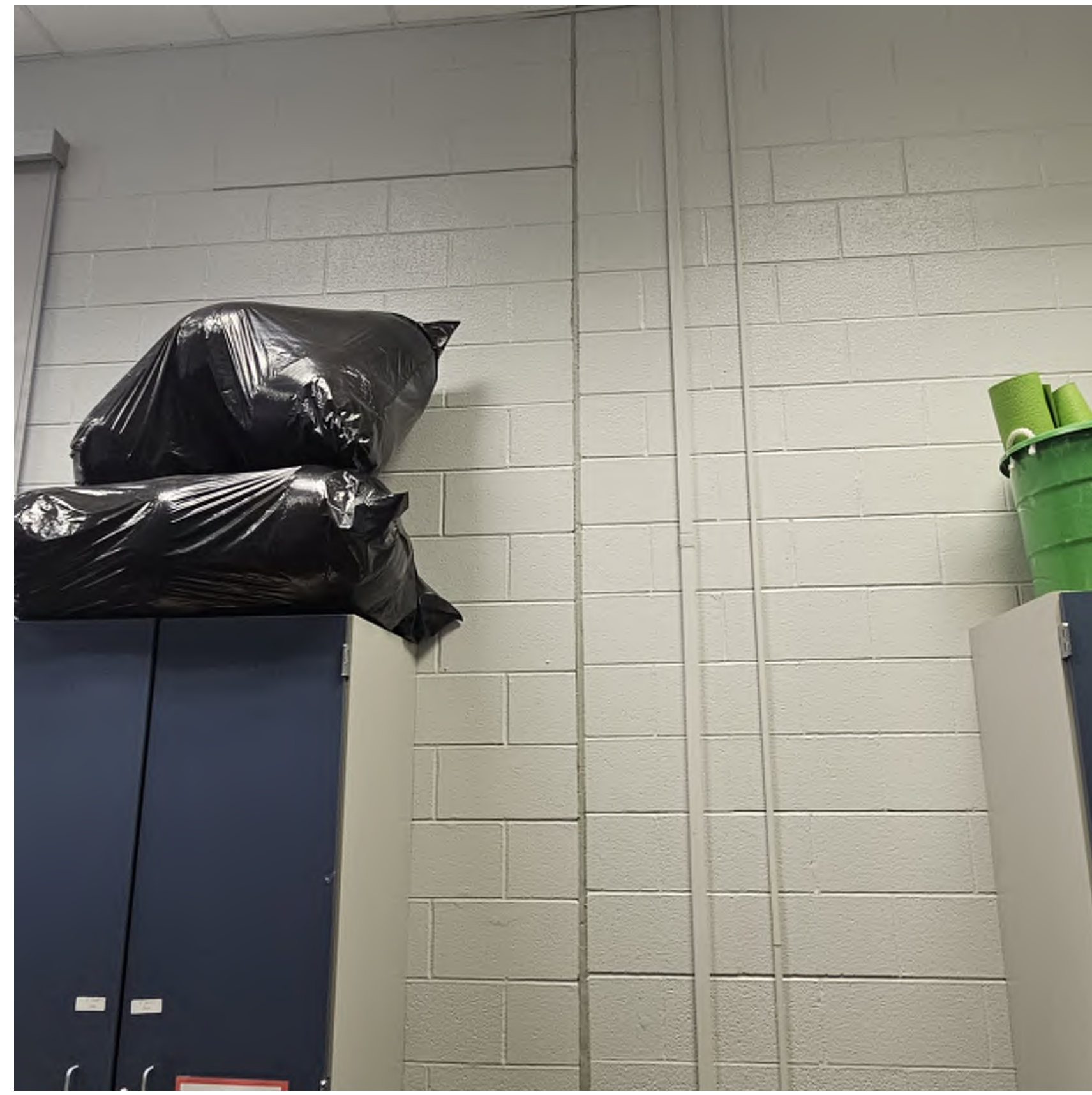
Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

Sheet:
G110
Oxford Middle Existing
Conditions



1
G111 JOINT CRACKS OVER DOOR



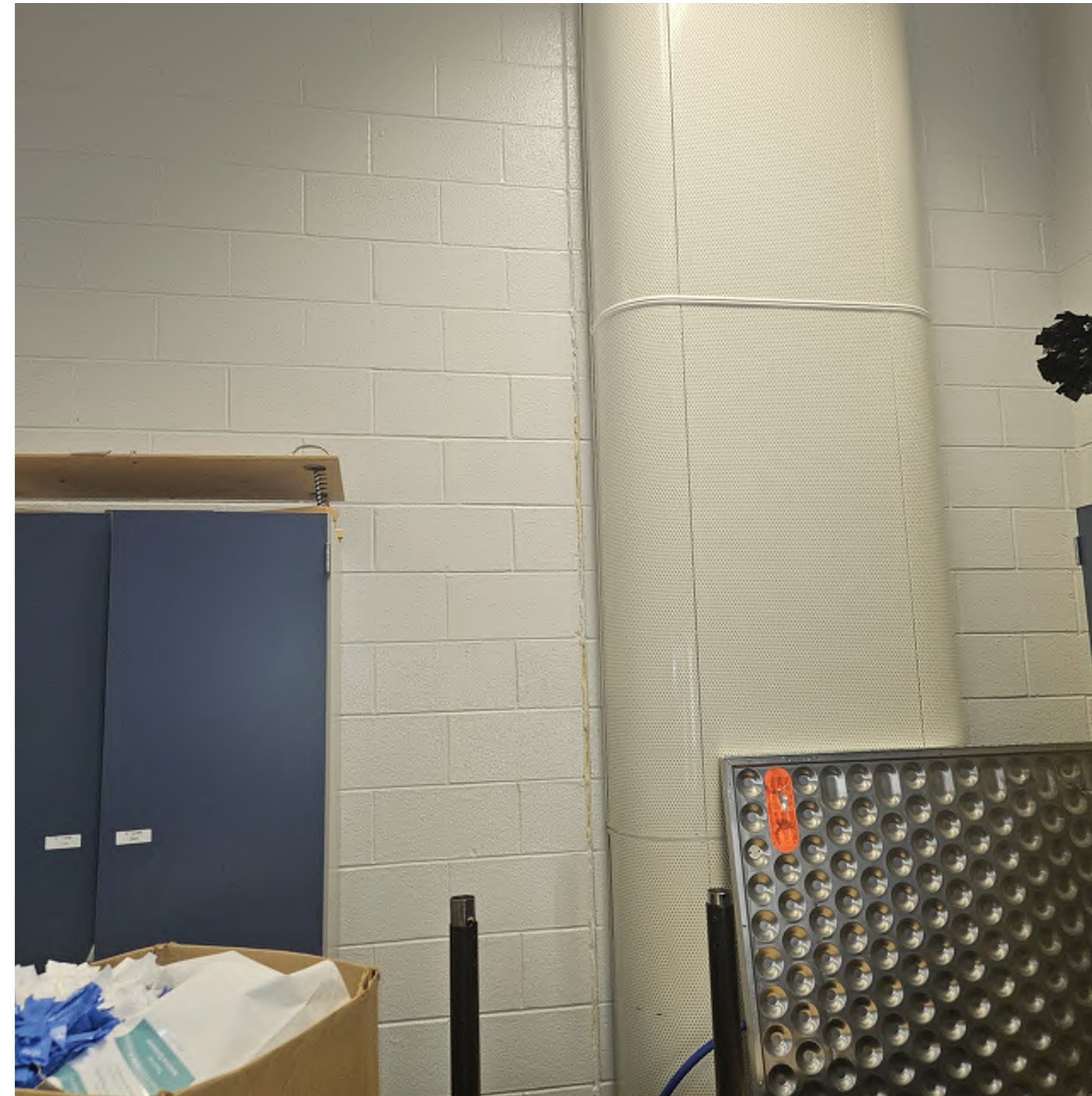
2
G111 EXISTING CRACKED CAULKING JOINT



3
G111 CRACKED ABOVE CMU WINDOW



4
G111 EXISTING CRACKED CAULKING JOINT



5
G111 EXISTING CRACKED CAULK JOINTS



6
G111 EXISTING CRACKED CMU & JOINTS



Universal
Construction
Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064

(913) 342-1150

Project:
2026 BV Foundation Repairs
Oxford Middle School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

Sheet:
G111
Oxford Middle Existing
Conditions



1 EXISTING CRACKED FACE BRICK/JOINTS



2 EXISTING TYPICAL WINDOW CONDITION



3 CRACKED BRICK/JOINTS BELOW WINDOW



4 EXISTING CRACKED MASONRY JOINTS



5 EXISTING TYPICAL WINDOW CONDITION



6 CRACKED DRYWALL ABOVE DOOR



Universal Construction Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064

(913) 342-1150

Project:
2026 BV Foundation Repairs
Liberty View Elementary School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

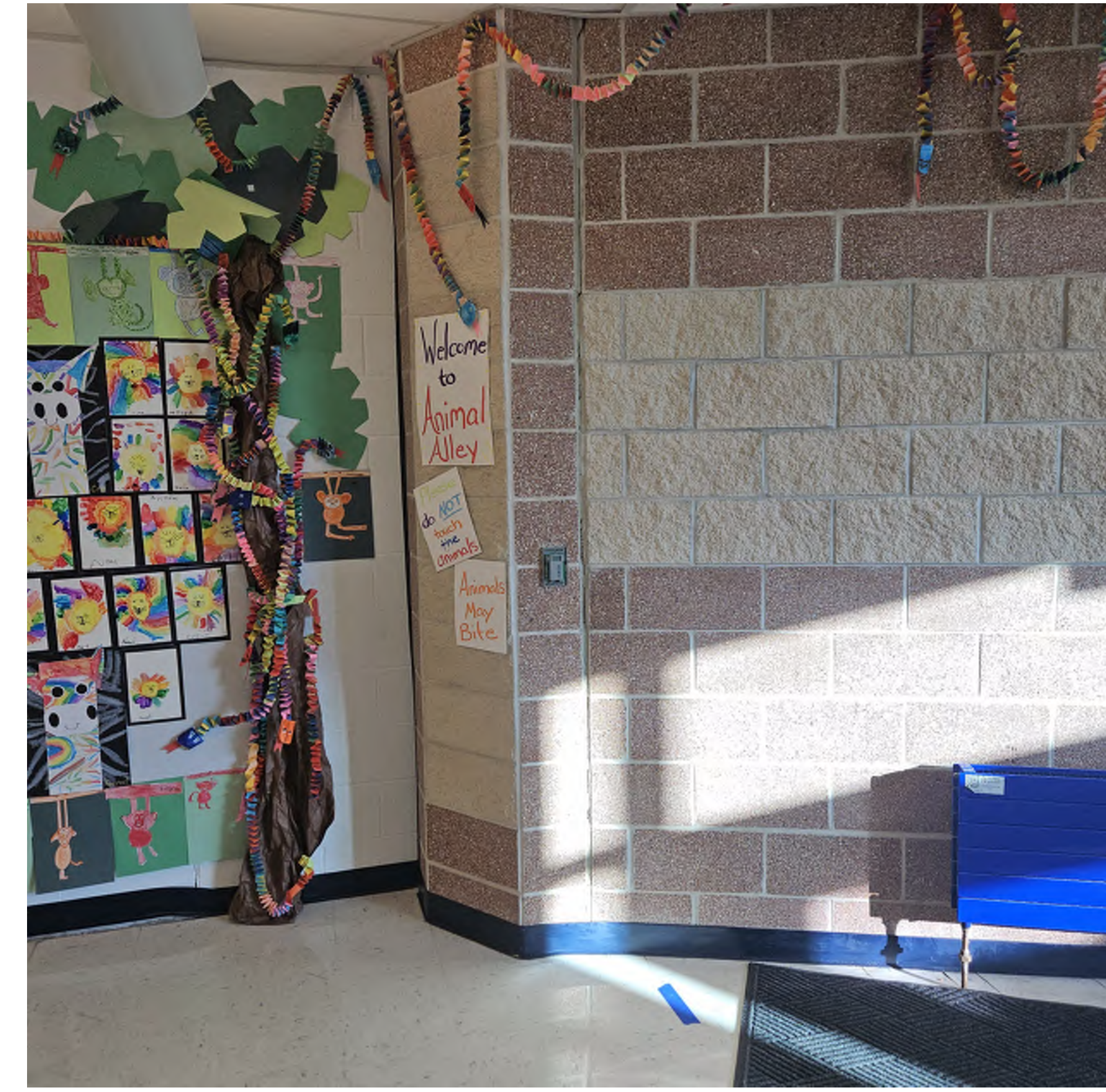
Sheet:
G120
Liberty View Existing Conditions



1 EXISTING HVAC DROP & CAULK JOINT
G125



2 EXISTING HVAC WALL UNIT
G125



3 MASONRY PIPING CHASE TO BE REINSTALLED
G125



4 EXISTING MB & CAULKING JOINT
G125



5 EXISTING CRACKED CMU
G125



6 EXISTING CRACKED CAULKING
G125



Universal
Construction
Company Inc

2320 NE Independence Ave
Lee's Summit, MO 64064

(913) 342-1150

Project:
2026 BV Foundation Repairs
Liberty View Elementary School

Owner:
Blue Valley School District

Date: 2/16/2026
Drawn By: Archie Smith
Revisions:

Sheet:
G125
Liberty View Existing
Conditions

Oxford Middle School

MIDDLE SCHOOL #3
 BLUE VALLEY U.S.D. #229
 124th STREET AND SWITZER
 OVERLAND PARK, KANSAS

THE HOLLIS + MILLER GROUP
 Architects and Engineers, Incorporated
 Miller Davis Roberts Wisniewski
 9417 WEST 75th STREET, OVERLAND PARK, KANSAS 66204-2270
 OFFICE TELEPHONE (913) 642-5111

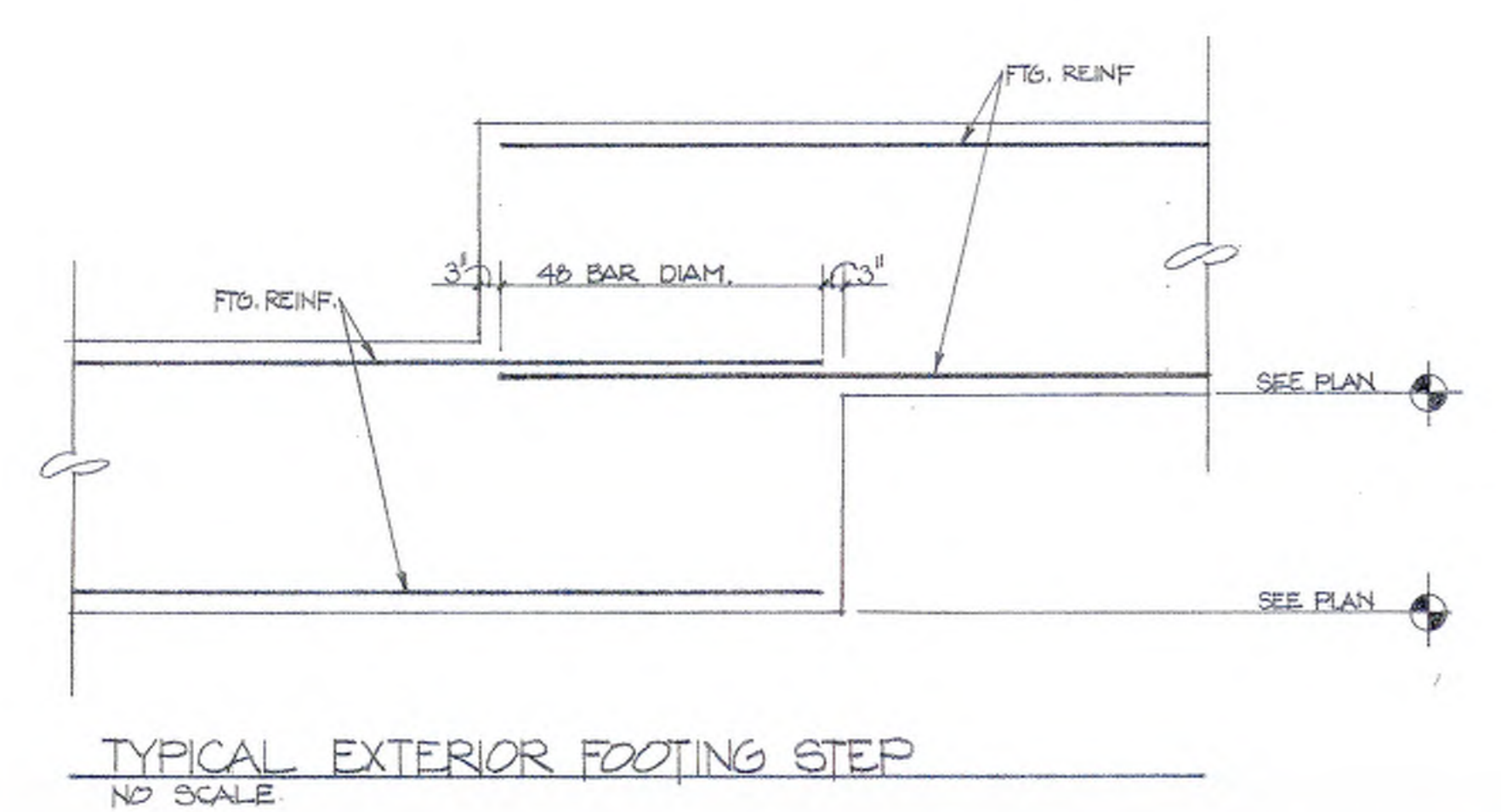
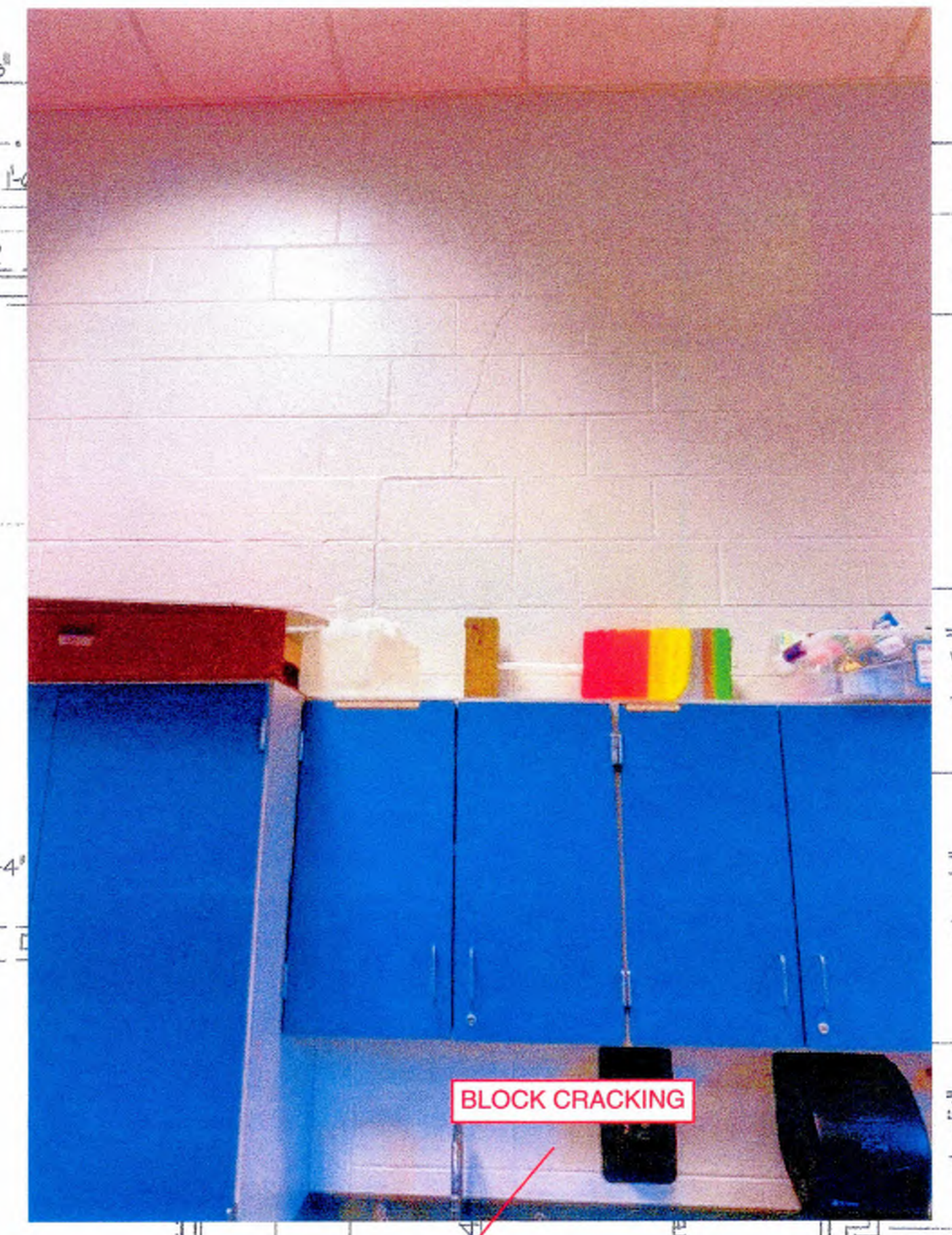
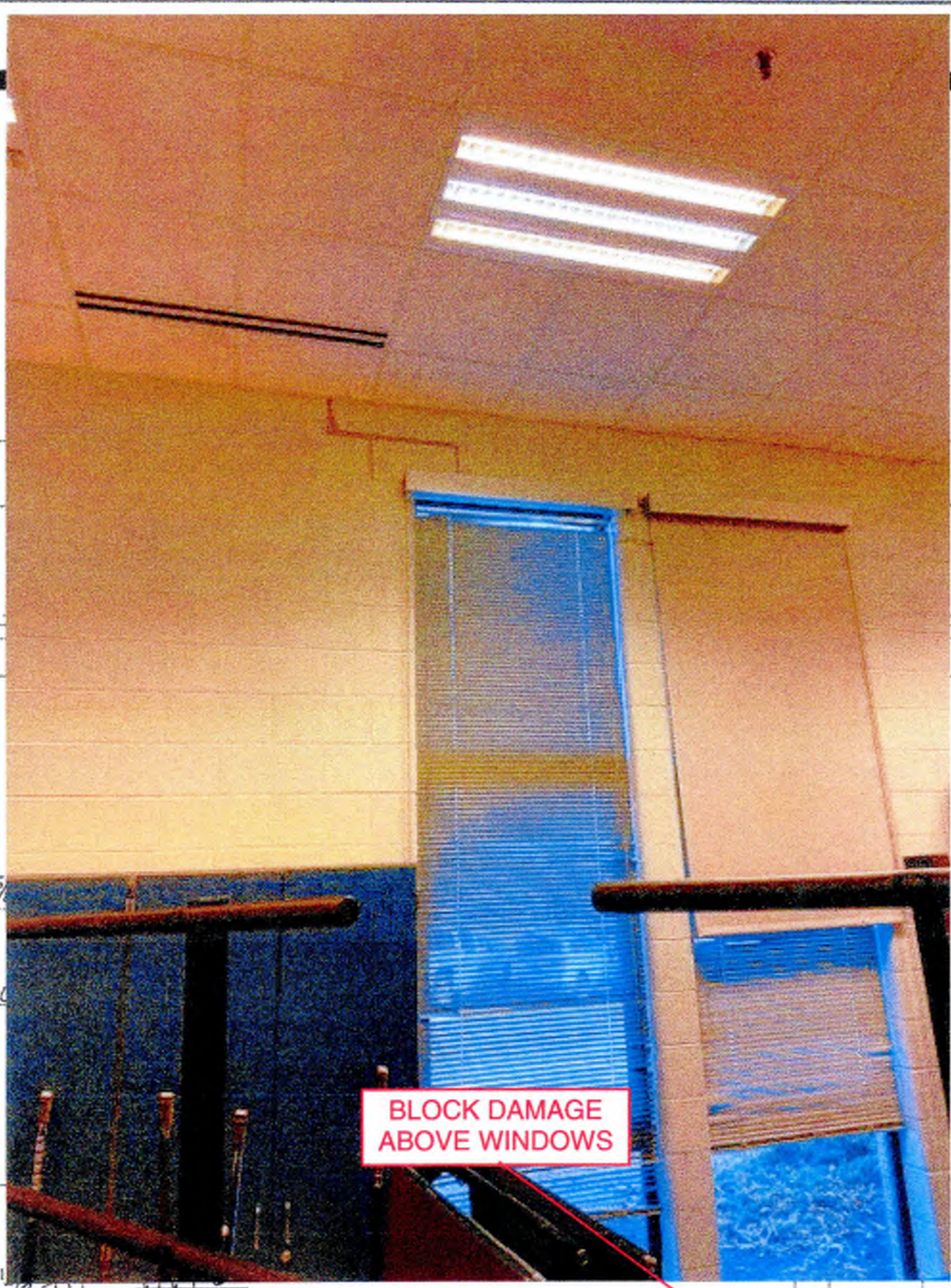
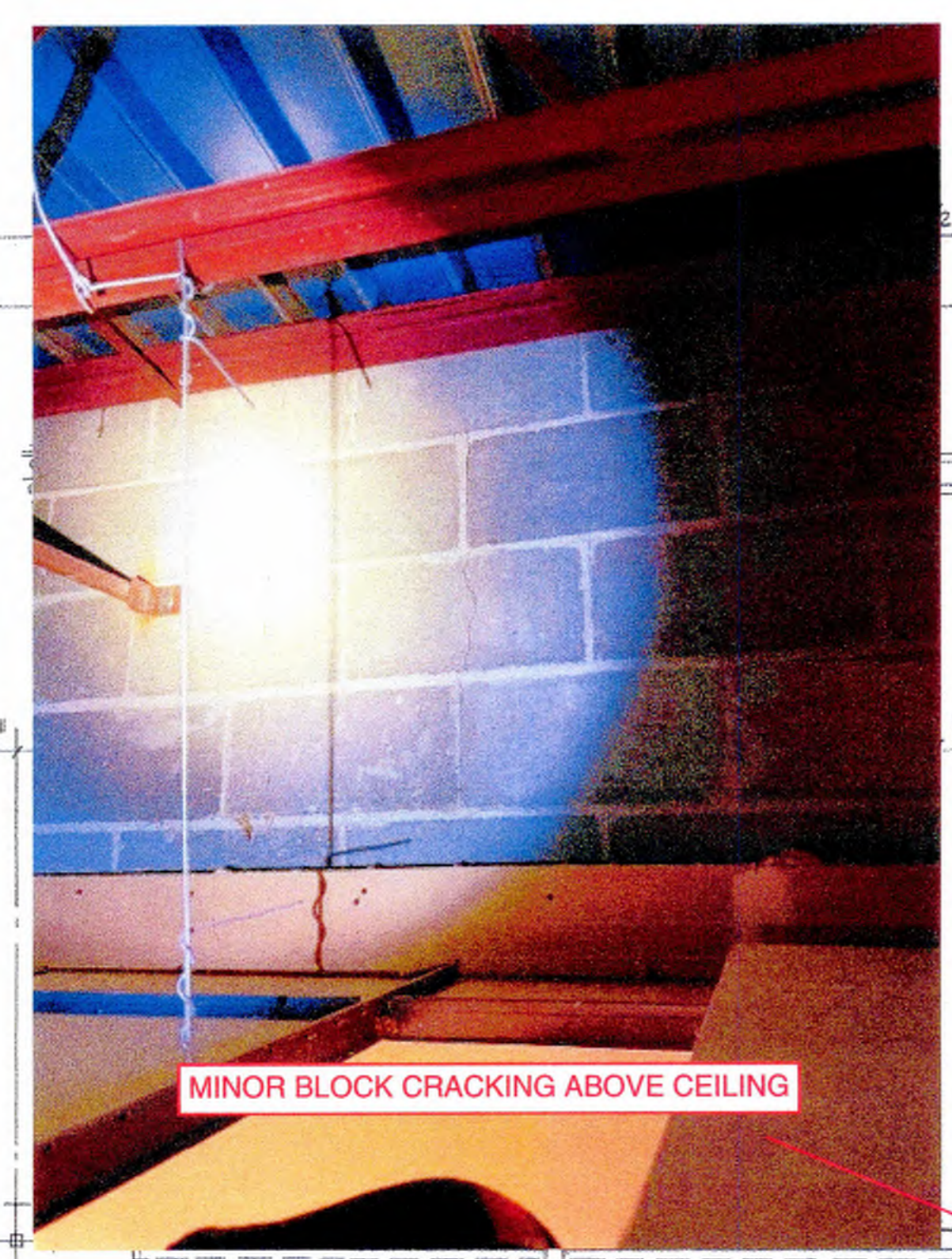
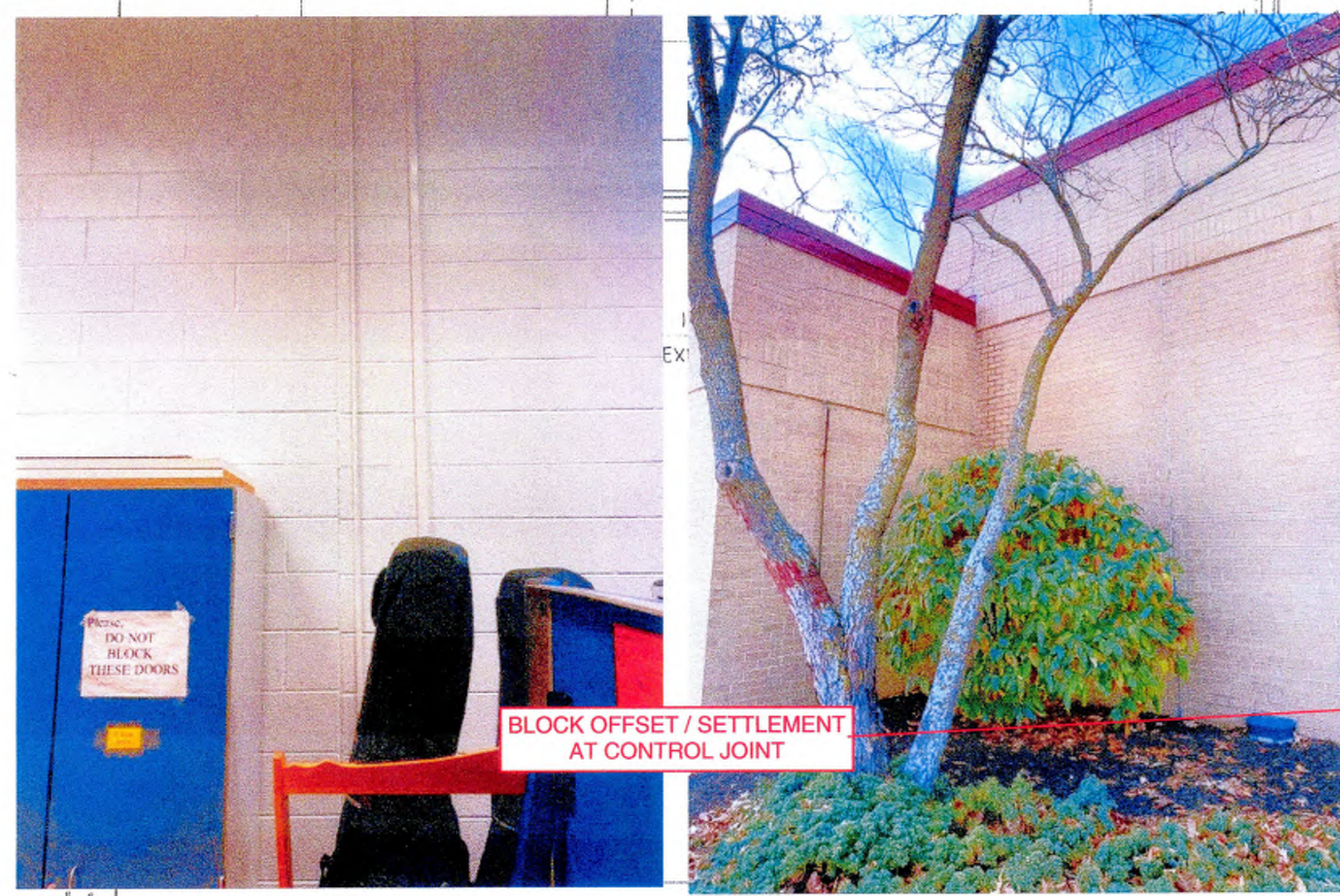


H+M Job No. 8825
 Date 9-86

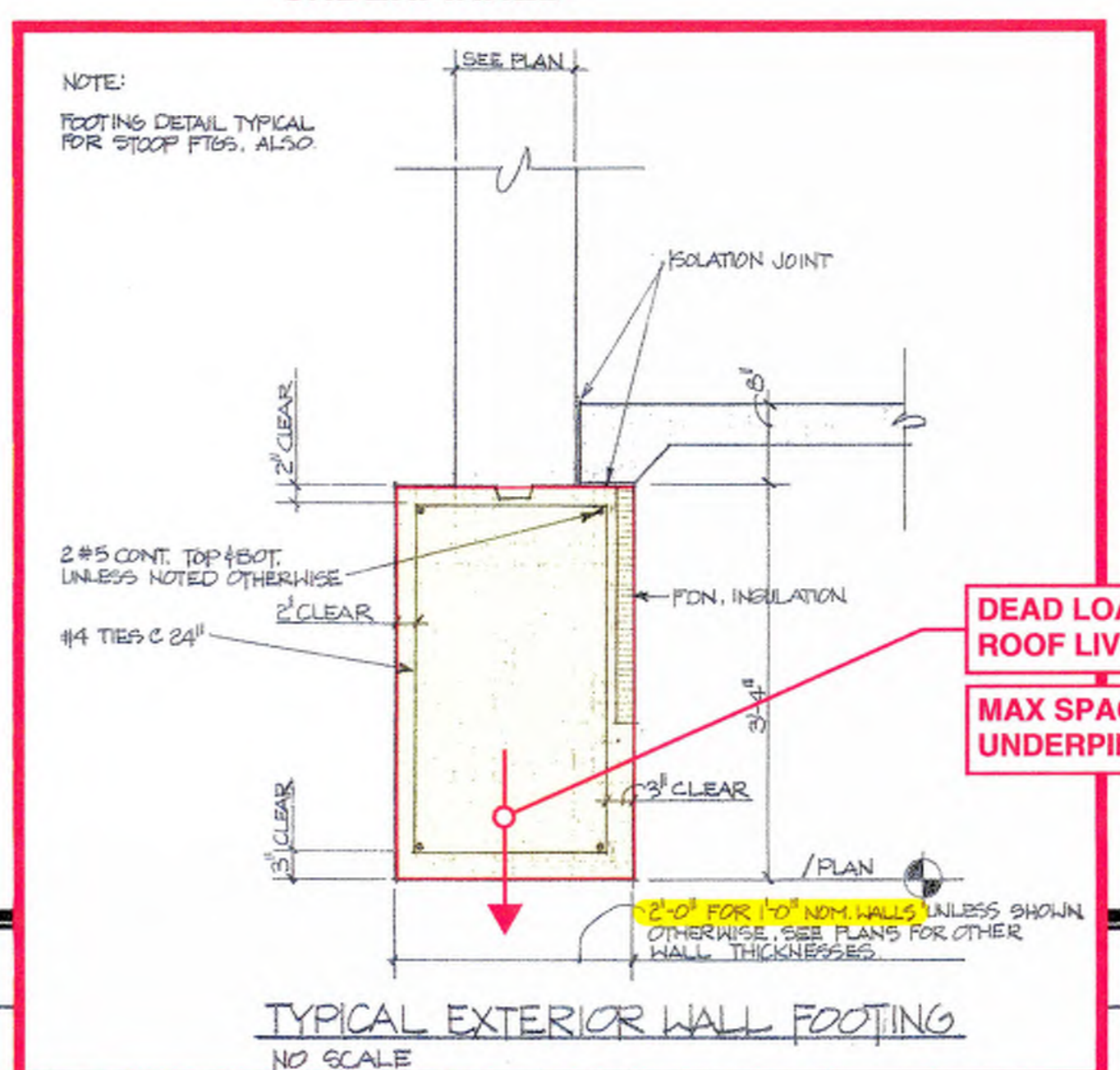
S3



FOOTING PLAN - UNIT "C"
 1/8" = 1'-0"



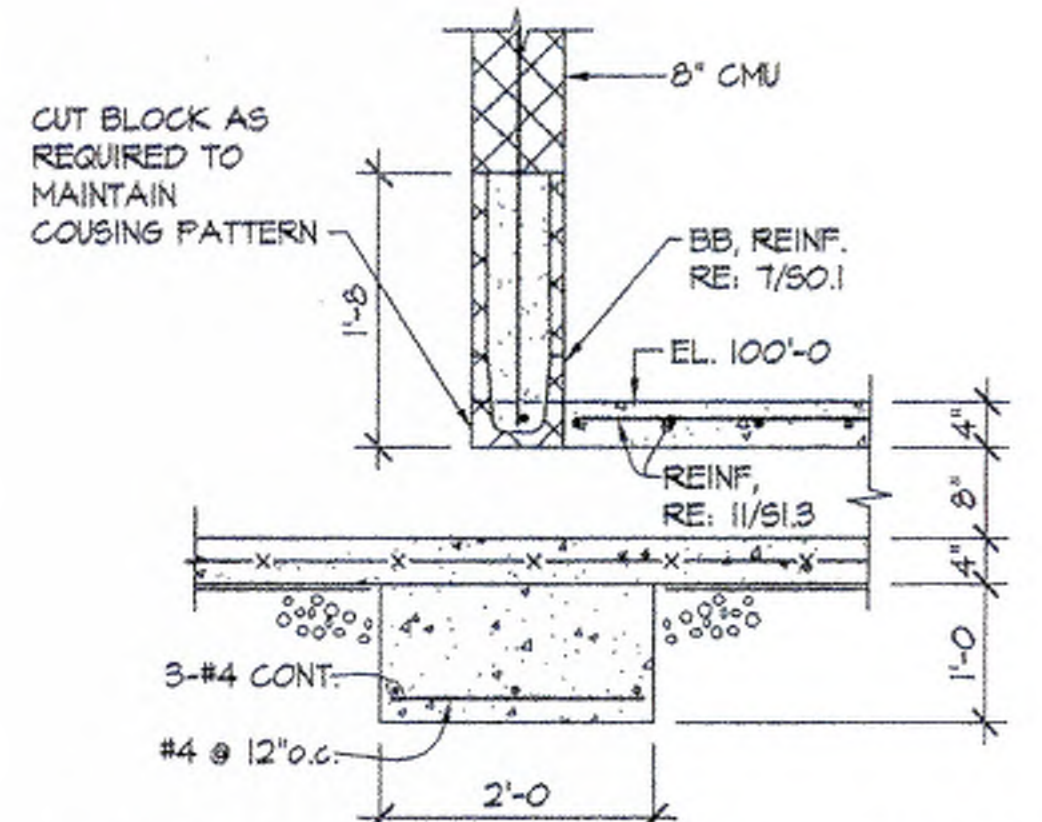
TYPICAL EXTERIOR FOOTING STEP
 NO SCALE



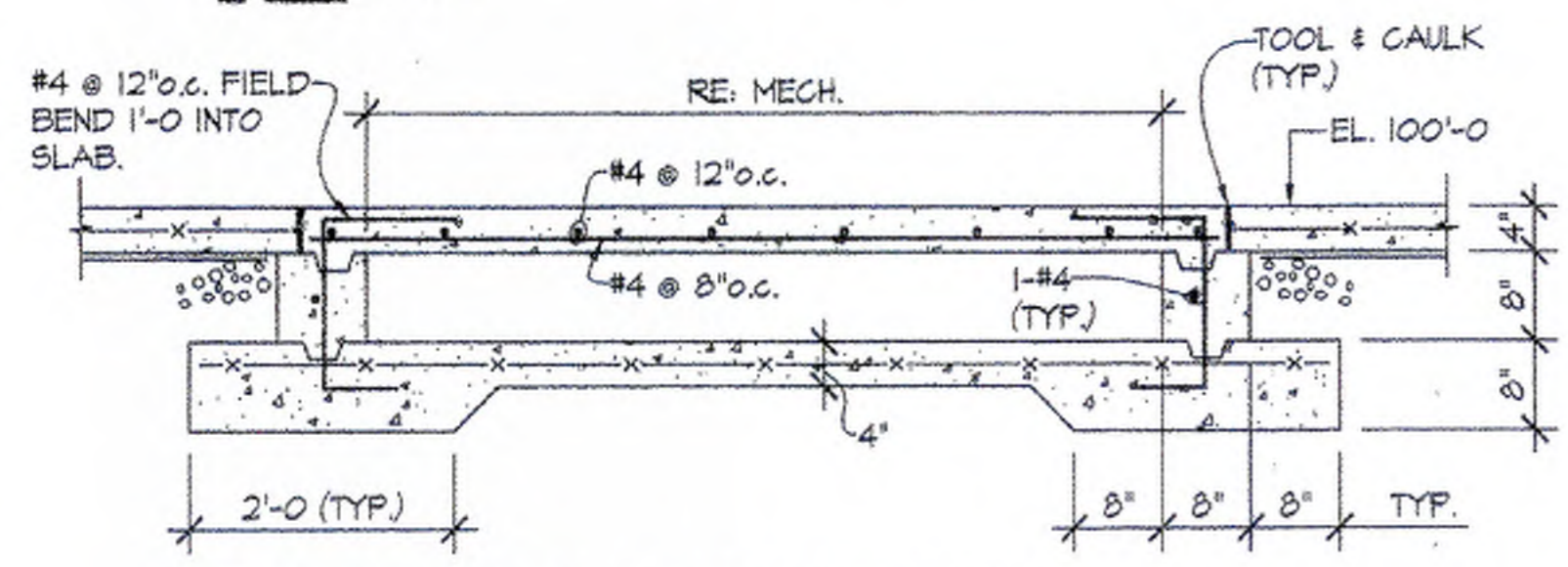
FOOTING TO BE UNDERPINNED

TYPICAL EXTERIOR WALL FOOTING
 NO SCALE

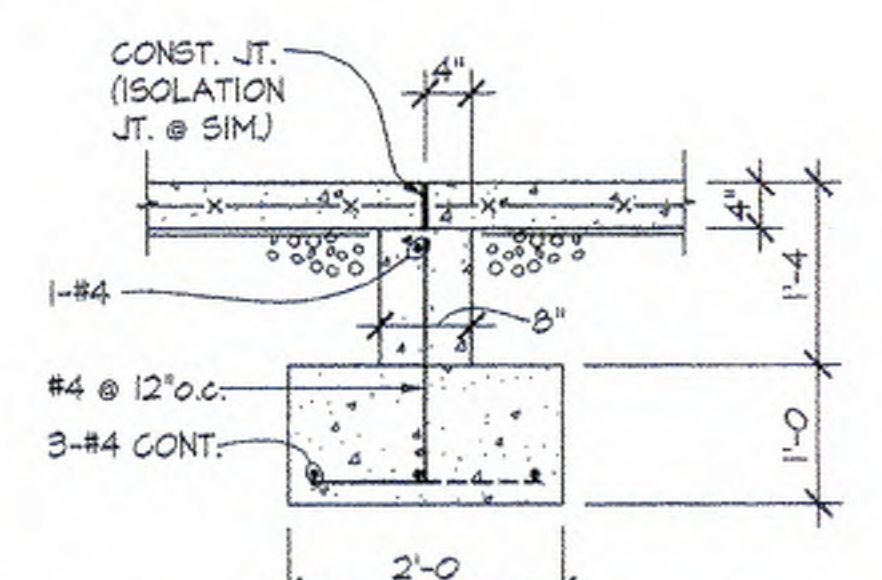
**LIBERTY VIEW
ELEMENTARY SCHOOL
BDC MARKUP - 10.21.25**



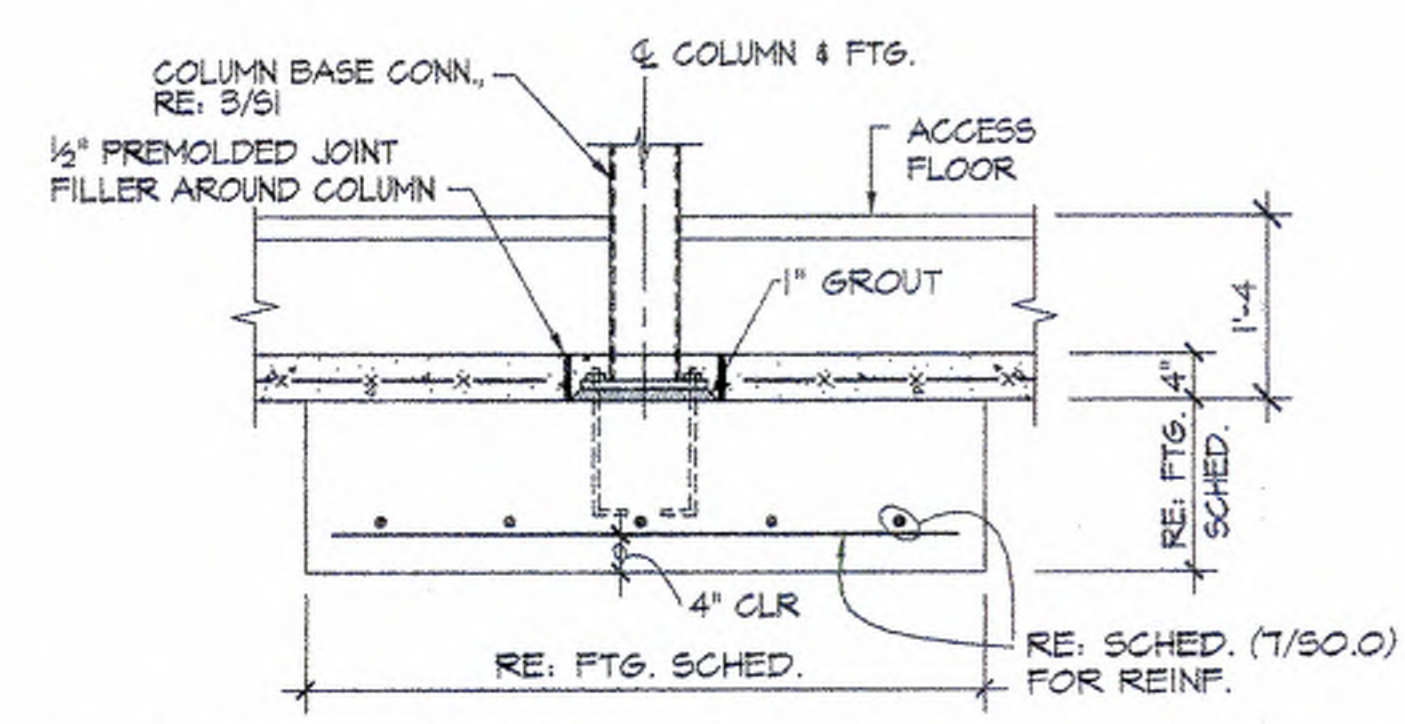
12 SECTION @ MECH. TUNNEL
3/4" = 1'-0"



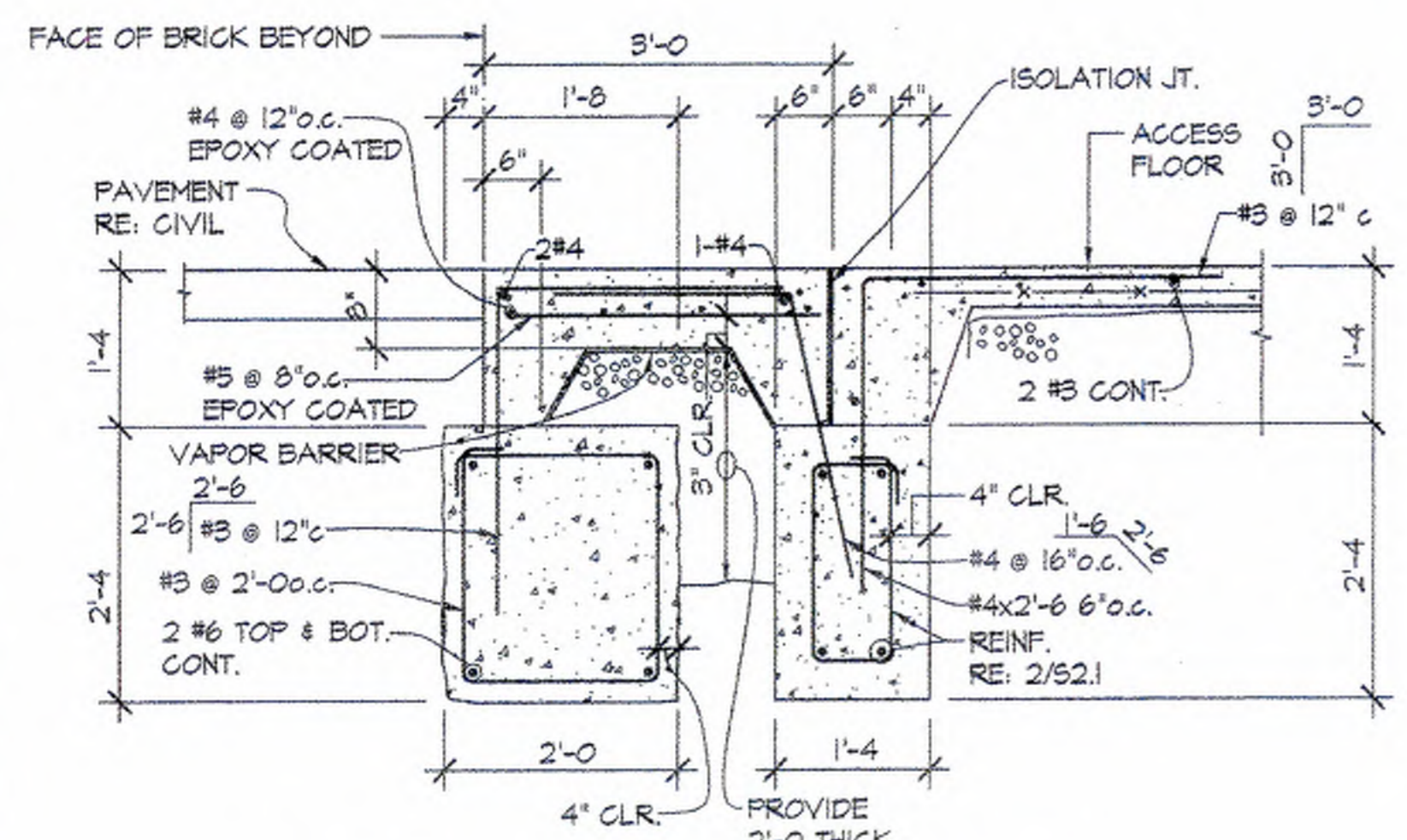
11 SECTION @ MECH. TUNNEL
3/4" = 1'-0"



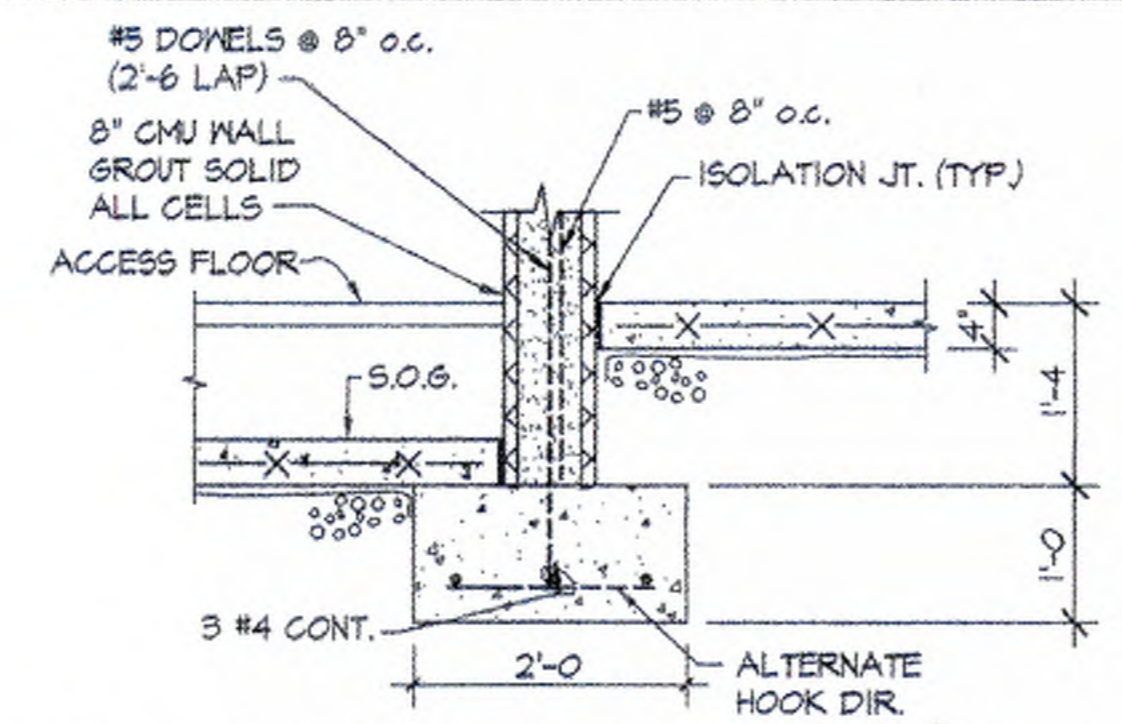
10 SECTION @ INTERIOR S-O-G
3/4" = 1'-0"



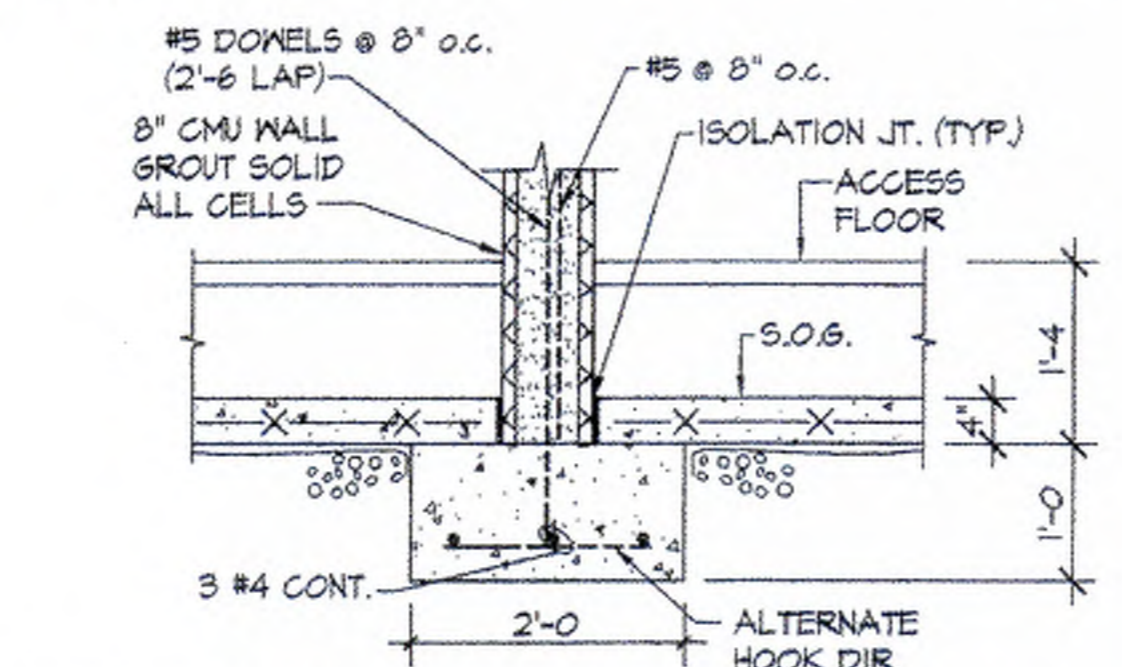
9 TYP. INTERIOR COLUMN FOOTING
NTS.



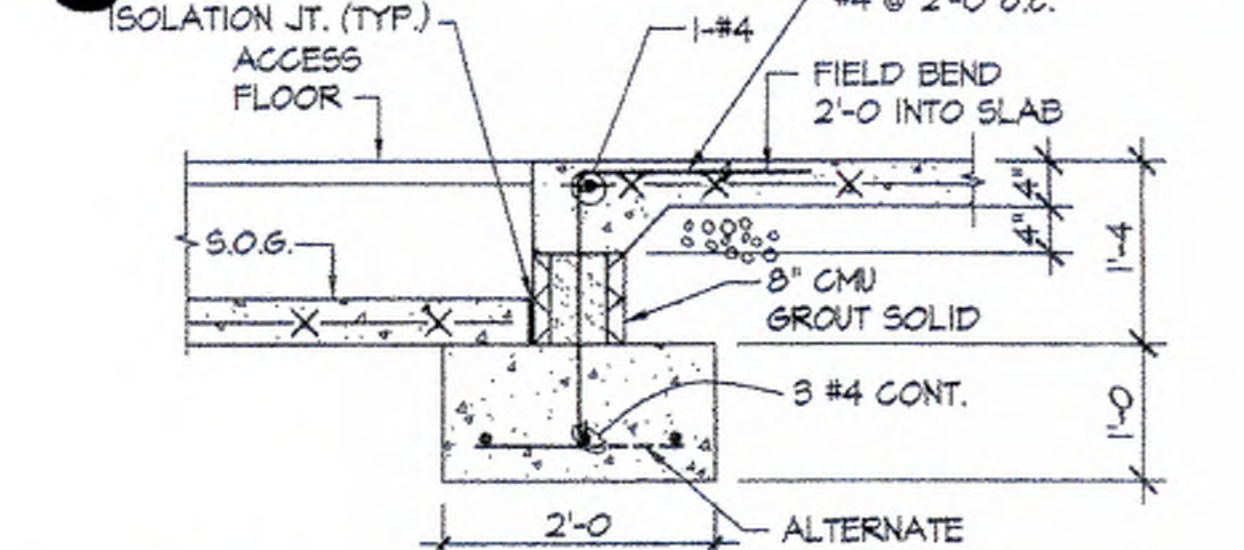
8 SECTION @ ENTRY VESTIBULE
3/4" = 1'-0"



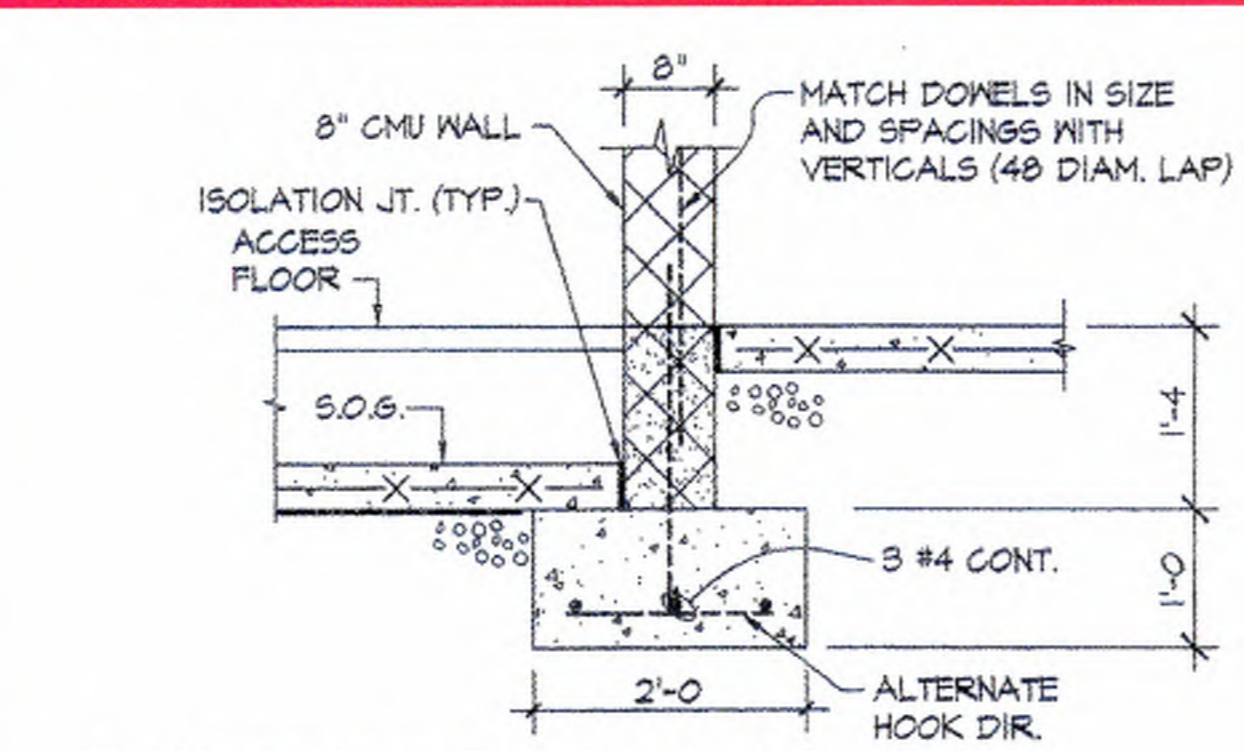
7 SECTION @ STORM SHELTER WALL
3/4" = 1'-0"



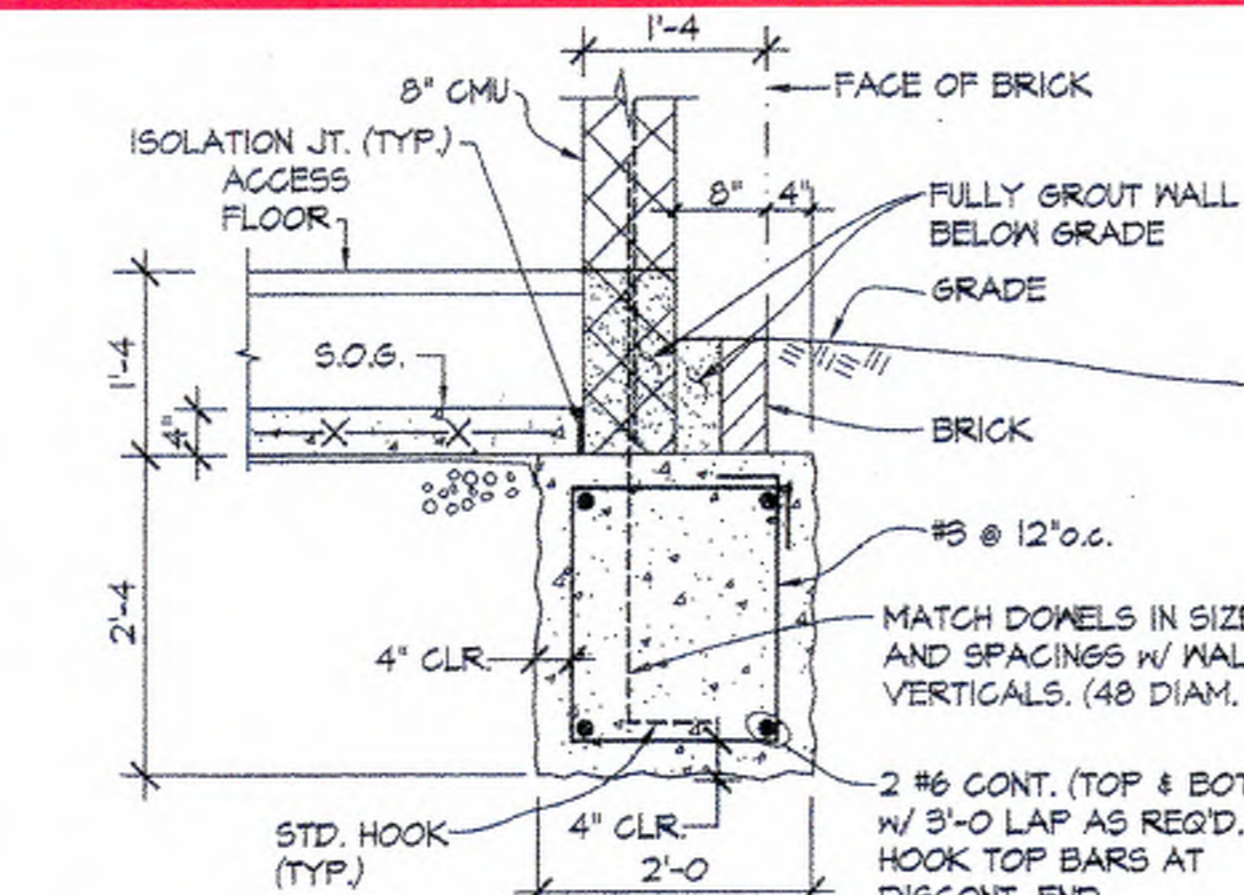
6 SECTION @ STORM SHELTER WALL
3/4" = 1'-0"



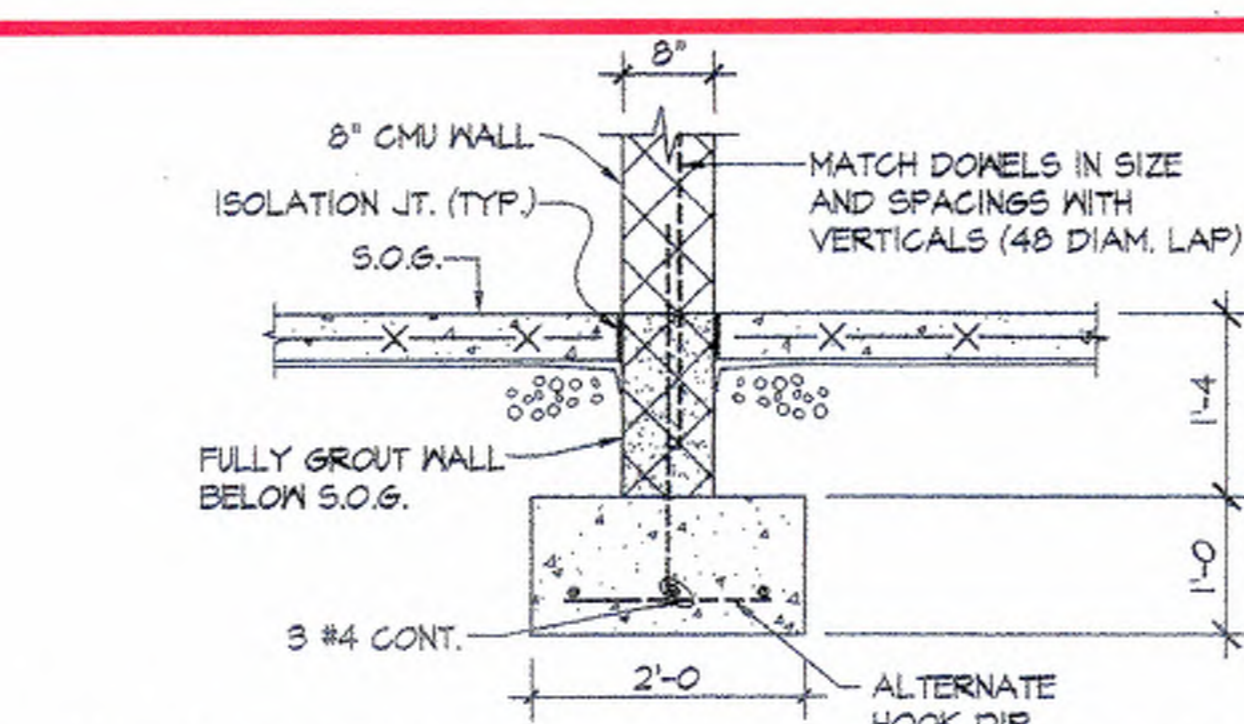
5 SECTION @ INTERIOR S-O-G
3/4" = 1'-0"



4 INTERIOR WALL FOUNDATION
3/4" = 1'-0"



3 TYP. 8" CMU EXTERIOR WALL FOUNDATION
3/4" = 1'-0"

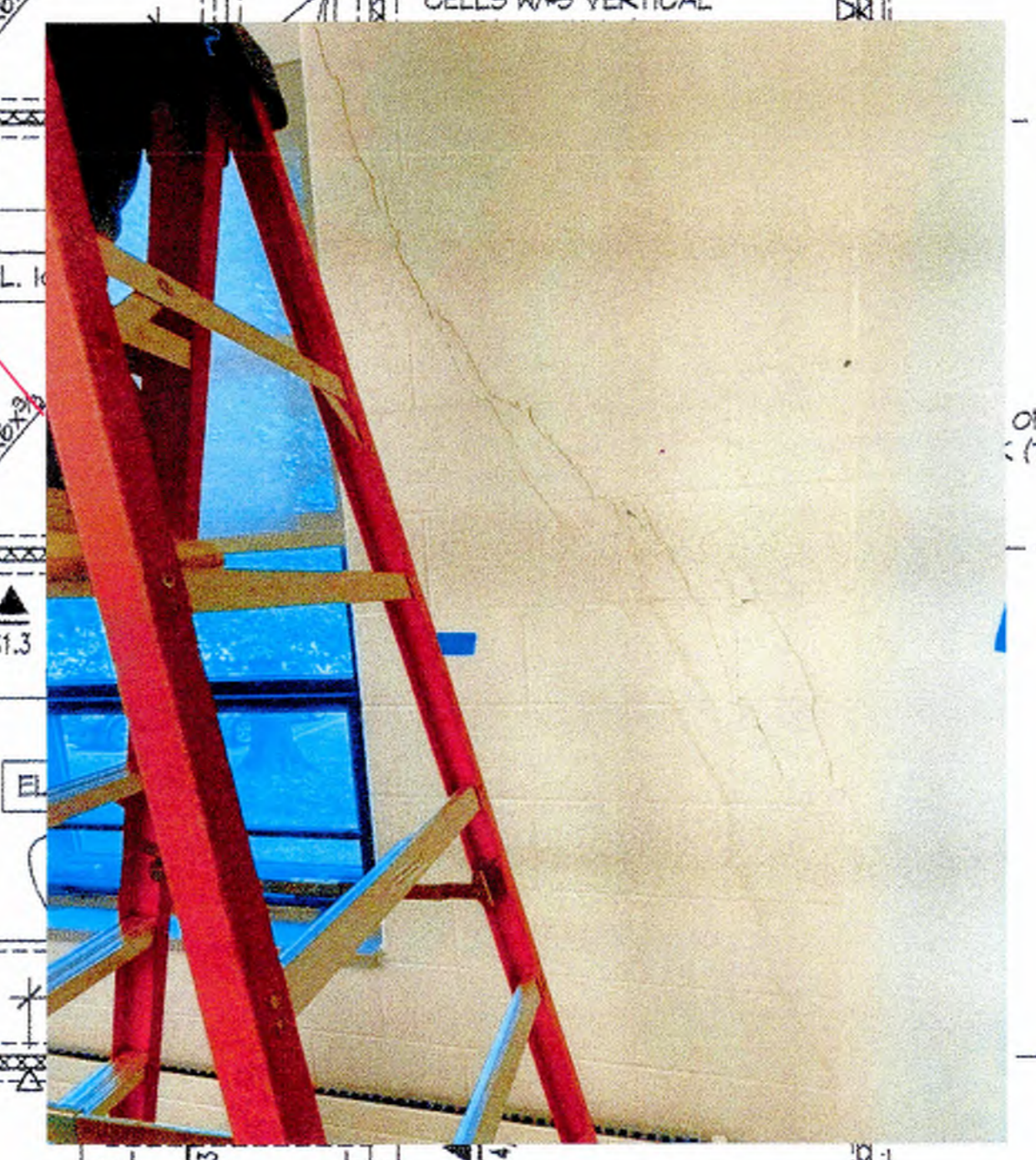
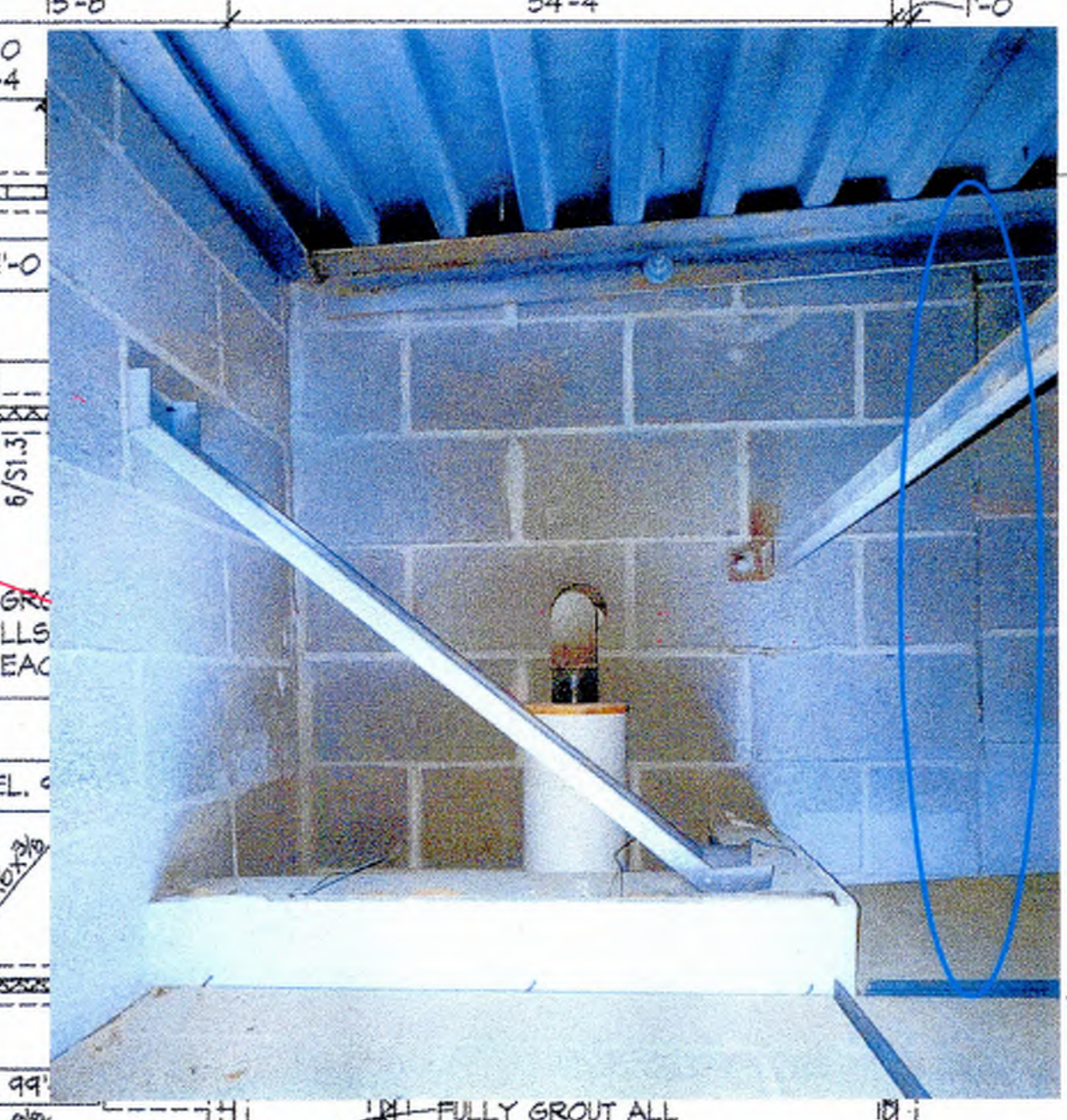
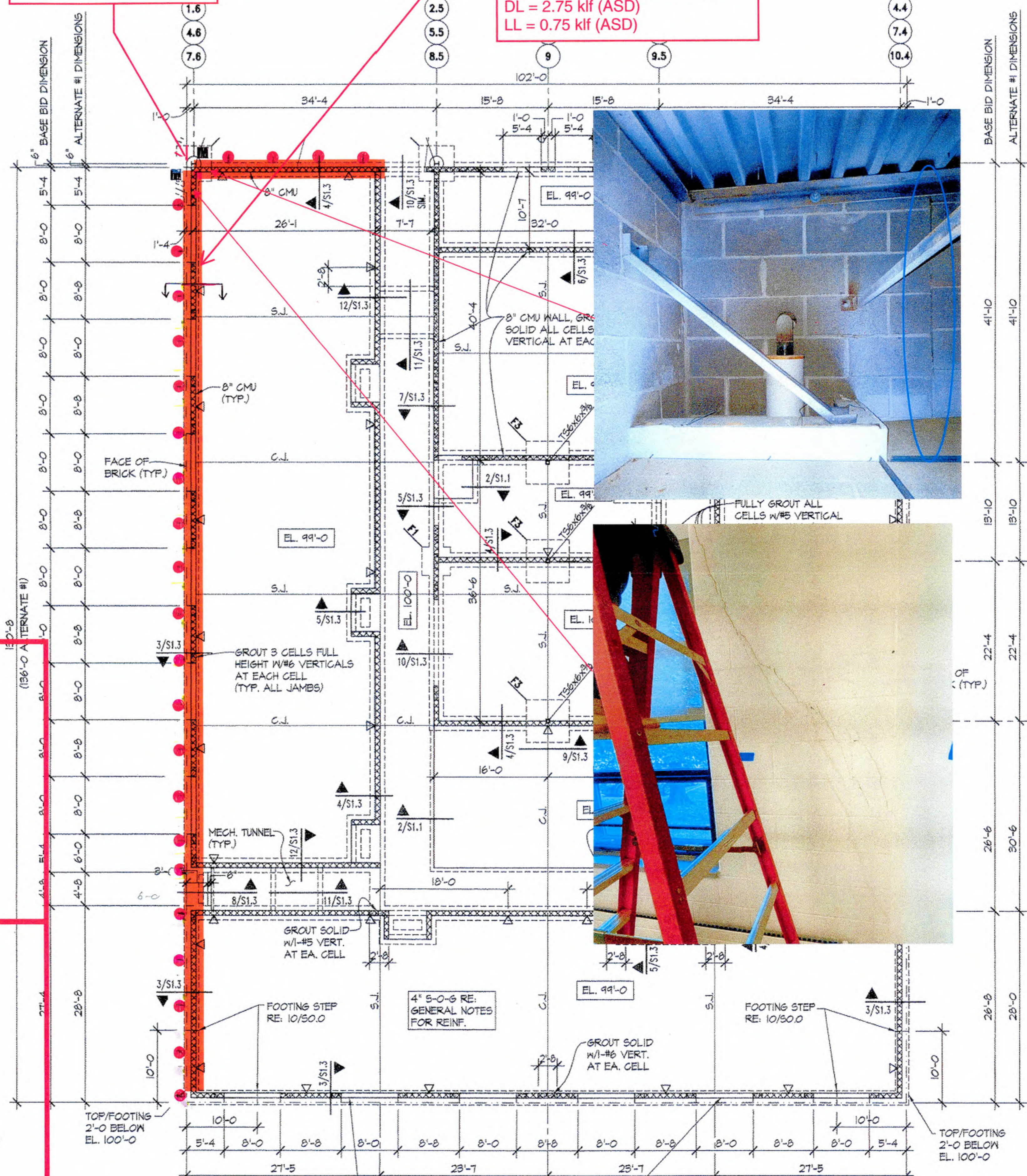


2 INTERIOR WALL FOUNDATION @ CLASSROOM
3/4" = 1'-0"

REFER TO PREVIOUS PAGE FOR ADDITIONAL EXTENTS OF UNDER PINNING AND COLUMN DESIGN REACTION

ORANGE HIGHLIGHT INDICATES LENGTH OF EXISTING FOOTING TO BE UNDERPINNED. MAX PIER/PIER SPACING = 10'-0"

UNDERPIN DESIGN LOADS:
DL = 2.75 kif (ASD)
LL = 0.75 kif (ASD)



- NOTES:
1. FINISH FLOOR EL. 100'-0" = US66 EL. 1086'-0" UNO.
 2. RE: 1/50.0 FOR TYPICAL CONSTRUCTION JOINT (C.J.) AND CONTROL JOINT (S.J.) IN SLAB-ON-GRADE.
 3. COORDINATE LOCATION AND ADDITIONAL WALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. RE: 6/50.1 FOR REINFORCING AROUND OPENINGS.
 4. "FI" INDICATES FOOTING DESIGNATION. RE: 7/50.0 FOR SCHEDULE.
 5. RE: 2/50.0 FOR COLUMN BASE PLATE DETAILS.
 6. INTERIOR NON-LOAD BEARING CMU WALLS ARE NOT SHOWN. RE: ARCH. DRAWINGS FOR LOCATION. RE: SHEET 50.1 FOR TOP OF WALL CONNECTION. RE: GENERAL NOTES FOR REINFORCING.
 7. PROVIDE THICKEN SLAB UNDER INTERIOR CMU PARTITION WALLS PER DETAIL 6/50.1. COORDINATE WALL LOCATION WITH ARCHITECTURAL DRAWINGS.
 8. RE: 16/50.1 FOR TYPICAL BRICK LINTEL SCHEDULE.
 9. PROVIDE HOUSEKEEPING PAD UNDER MECHANICAL UNITS PER DETAIL 6/50.0. COORDINATE LOCATION AND EXACT SIZE OF PADS WITH THE UNIT SUPPLIED/MECHANICAL DRAWINGS.
 10. Δ INDICATES CONTROL JOINT IN CMU WALLS.
 11. PROVIDE CONTINUOUS BOND BEAM WITH (1) #5 AT FOLLOWING ELEVATIONS: EXTERIOR WALLS: TOP/BB EL. 110'-0" INTERIOR WALLS: TOP/BB EL. 108'-0"

THE ACCOMPANYING PROFESSIONAL SEAL INDICATES THAT THE PERSON WHOSE NAME APPEARS ON THE SEAL HAS PREPARED OR SUPERVISED PREPARATION OF THE DOCUMENT OR PART THEREOF AND THAT HE OR SHE IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF KANSAS. THE SEAL DOES NOT APPEAR.

BLUE VALLEY ELEMENTARY SCHOOL #19
OLATHE, KANSAS
147th STREET & GREENWOOD
BLUE VALLEY SCHOOL DISTRICT-U.S.D. 229, 15020 METCALF, OVERLAND PARK, KANSAS

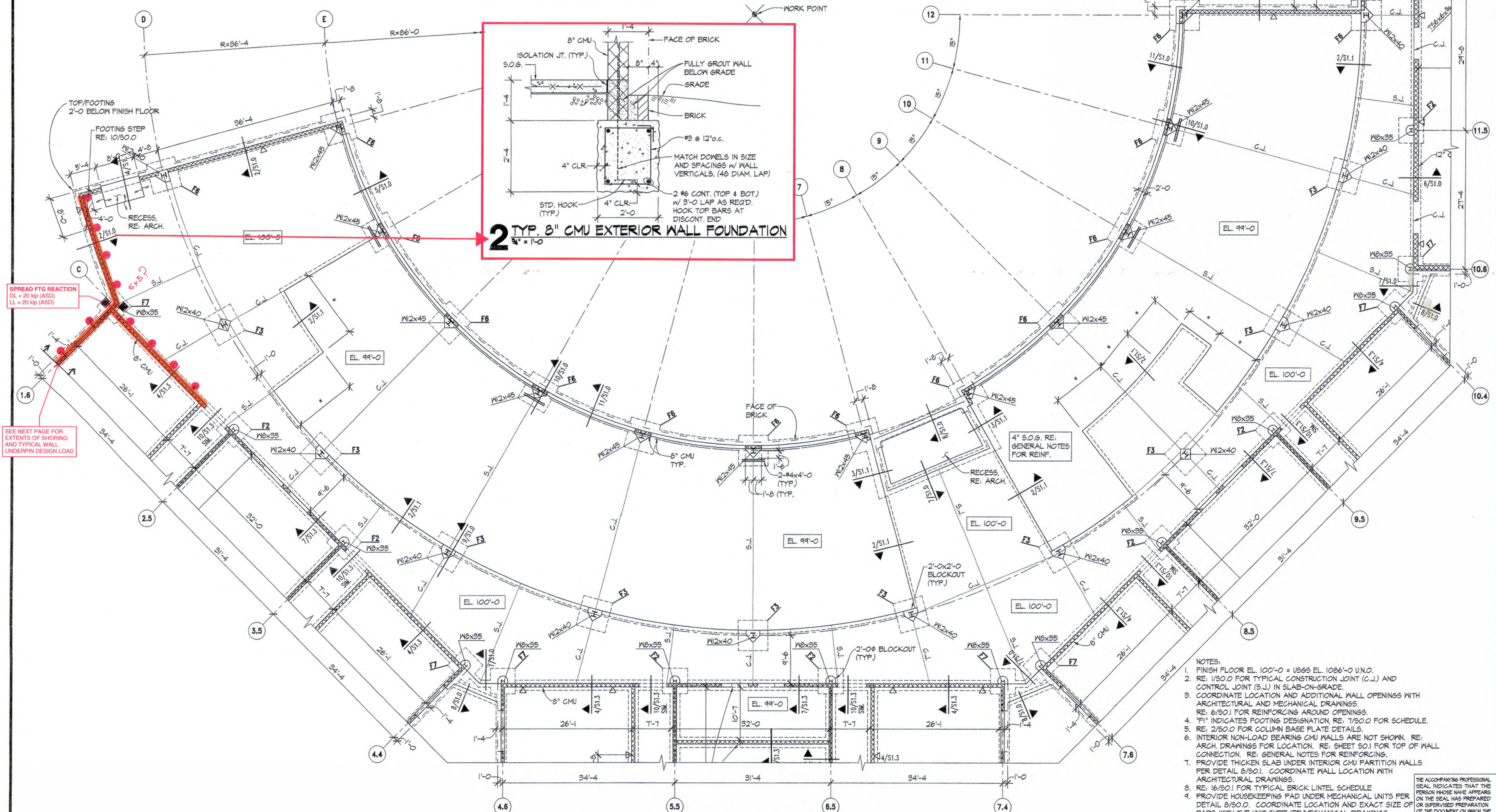
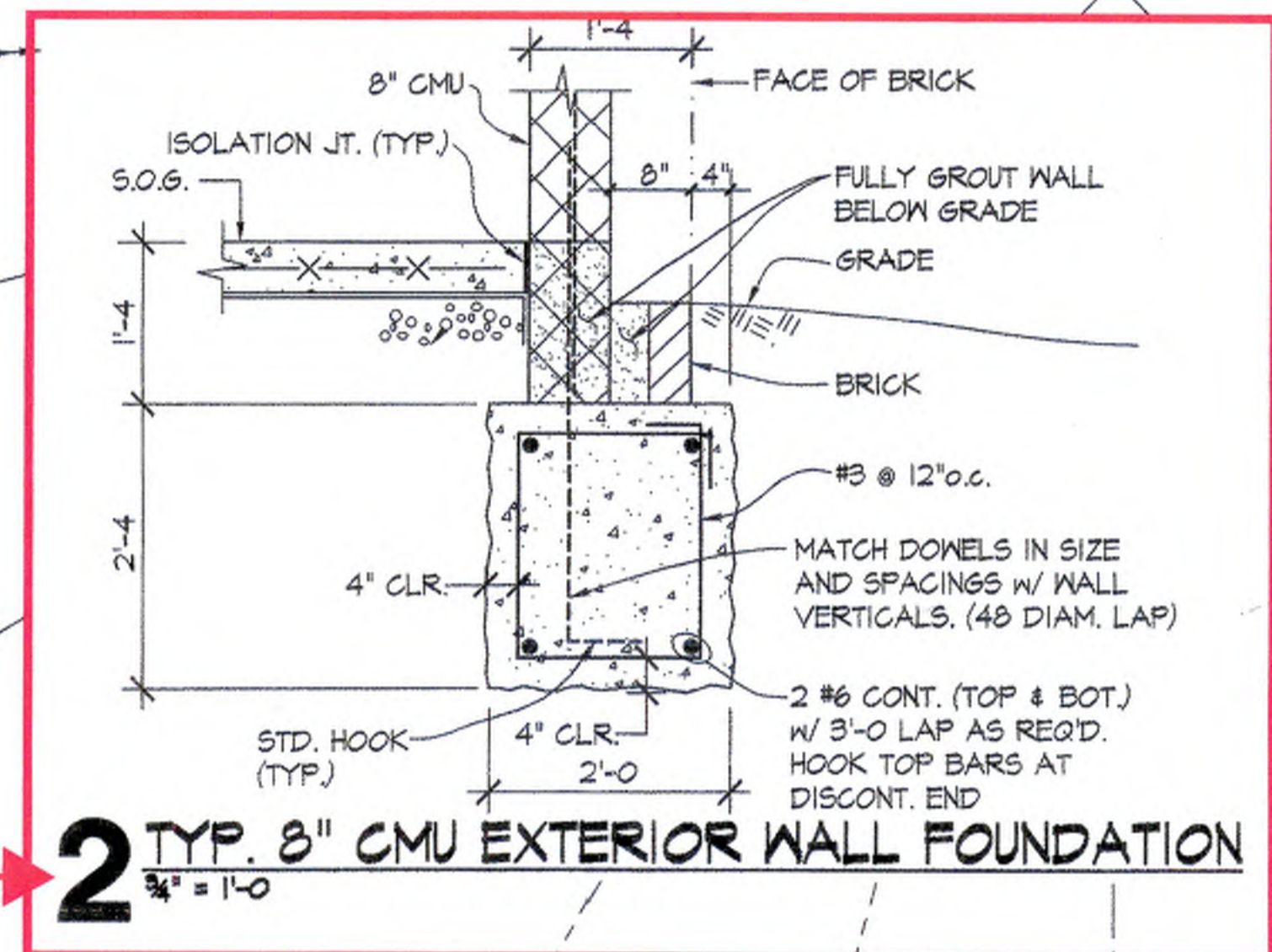
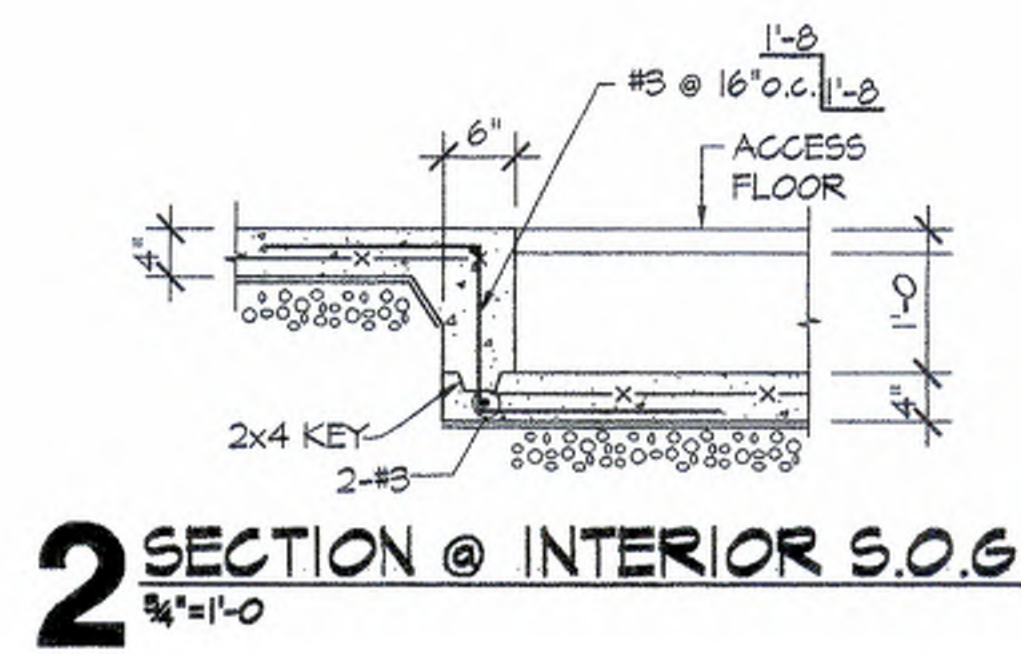
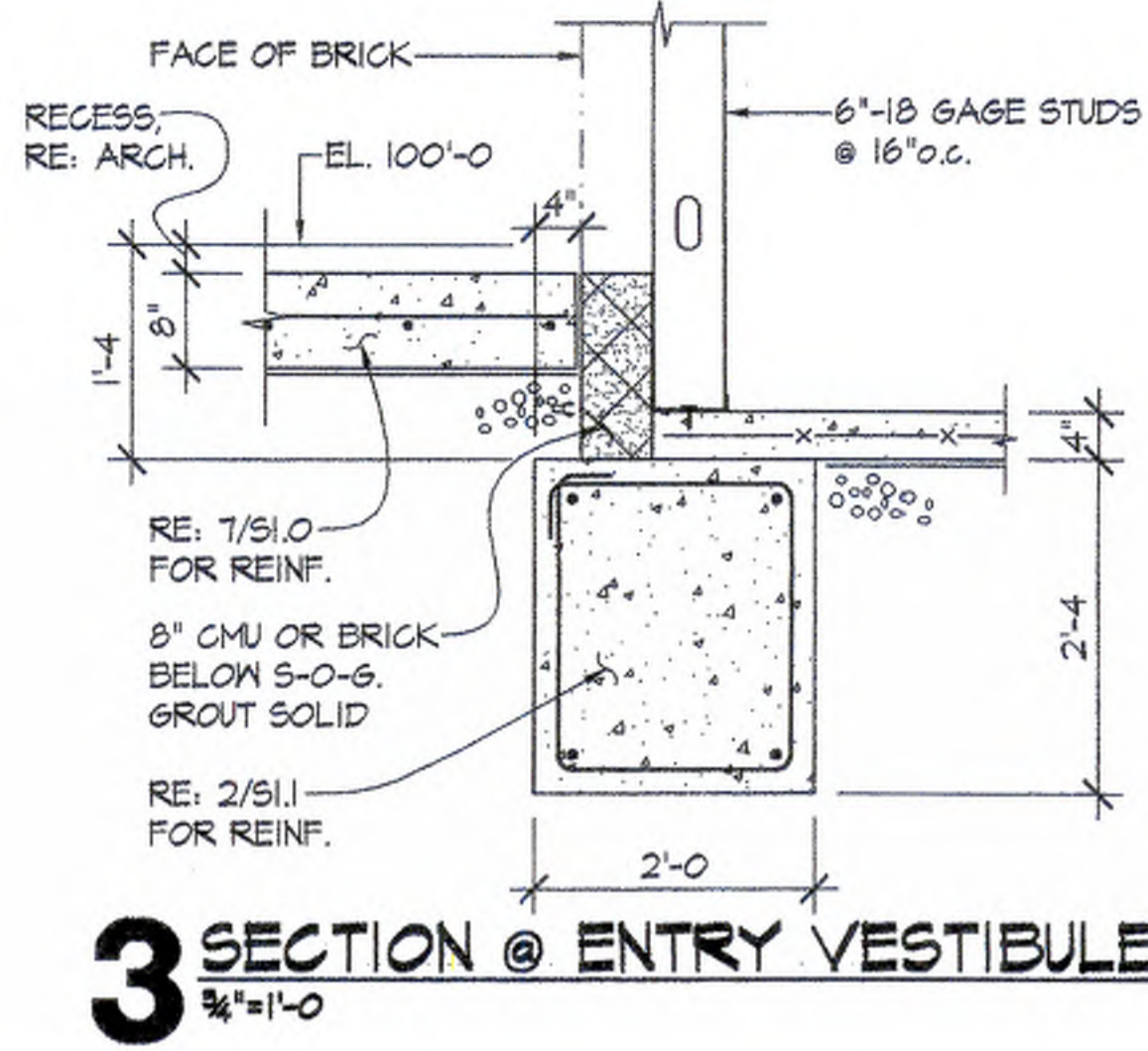
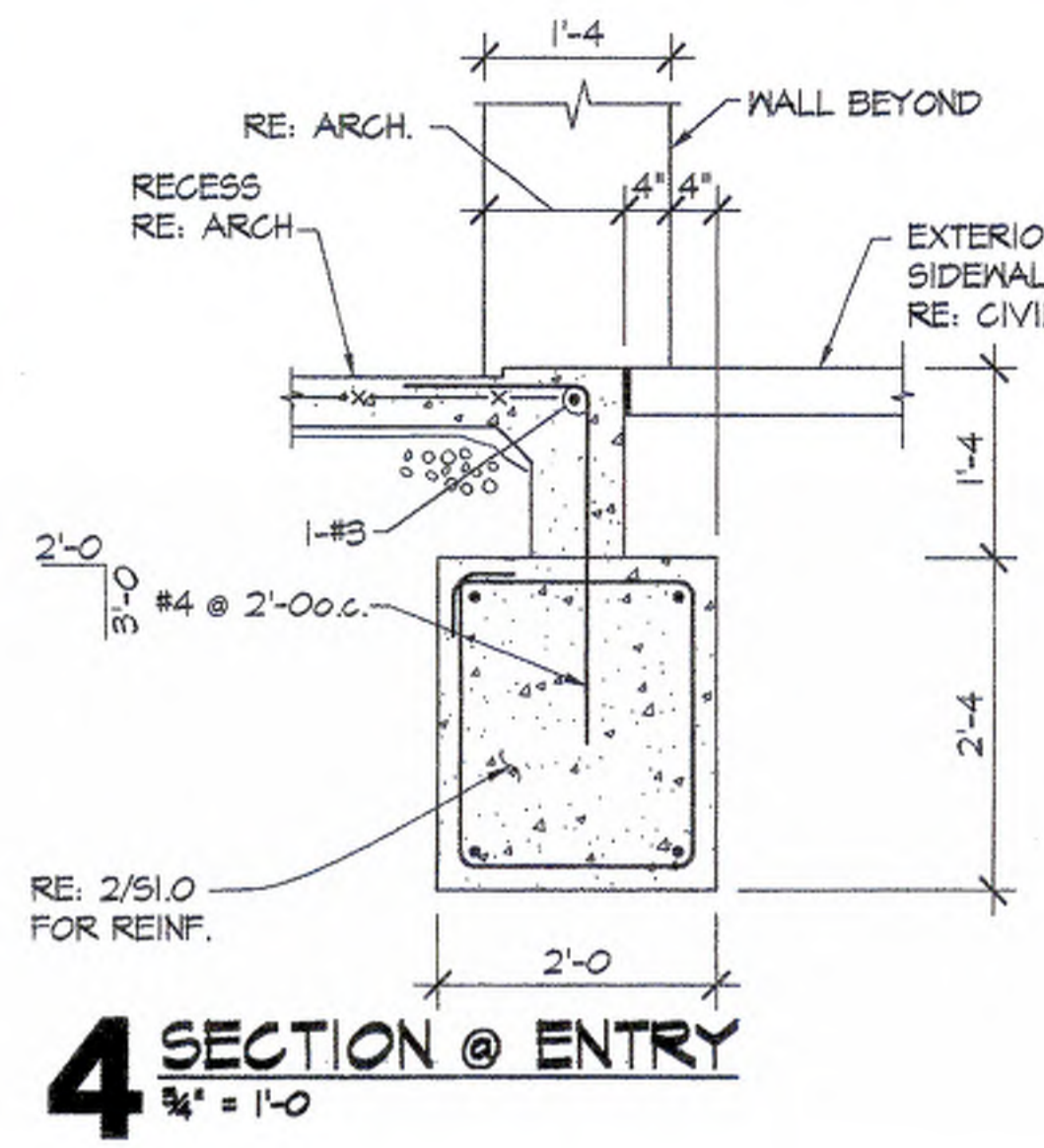


Date: **SEPTEMBER 14, 2000**

Revised Date:

Revised Date	Project Number	Sheet Number
	150000000	51.3

Sheet Number: **51.3**



SPREAD FTG REACTION
CL = 20 Kip (ASD)
LL = 20 Kip (ASD)

SEE NEXT PAGE FOR
EXTENTS OF SHORING
AND TYPICAL WALL
UNDERPIN DESIGN LOAD

- NOTES:
1. FINISH FLOOR EL. 100'-0" = USGS EL. 1026'-0" U.N.O.
 2. RE. 1/80.0 FOR TYPICAL BRICK LINTEL SCHEDULE
 3. COORDINATE LOCATION AND ADDITIONAL WALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS
 4. RE. 6/50.1 FOR REINFORCING AROUND OPENINGS
 5. "FI" INDICATES FOOTING DESIGNATION, RE. 1/50.0 FOR SCHEDULE
 6. RE. 2/50.0 FOR COLUMN BASE PLATE DETAILS
 7. INTERIOR NON-LOAD BEARING CMU WALLS ARE NOT SHOWN, RE. ARCH. DRAWINGS FOR LOCATION, RE. SHEET S.O.I FOR TOP OF WALL CONNECTION, RE. GENERAL NOTES FOR REINFORCING
 8. PROVIDE THICKEN SLAB UNDER INTERIOR CMU PARTITION WALLS PER DETAIL 8/50.1. COORDINATE WALL LOCATION WITH ARCHITECTURAL DRAWINGS
 9. RE. 16/50.1 FOR TYPICAL BRICK LINTEL SCHEDULE
 10. PROVIDE HOUSEKEEPING PAD UNDER MECHANICAL UNITS PER DETAIL 8/50.0. COORDINATE LOCATION AND EXACT SIZE OF PADS WITH THE UNIT SUPPLIED/MECHANICAL DRAWINGS
 11. "C" INDICATES CONTROL JOINT IN CMU WALLS
 12. * RE. ARCHITECTURAL DRAWINGS FOR DIMENSION
 13. PROVIDE CONTINUOUS BOND BEAM WITH (I) #5 AT FOLLOWING ELEVATIONS: EXTERIOR WALLS: TOP/BB EL. 110'-0" INTERIOR WALLS: TOP/BB EL. 108'-0"

THE ACCOMPANYING PROFESSIONAL SEAL INDICATES THAT THE PERSON WHOSE NAME APPEARS ON THE SEAL HAS PREPARED OR SUPERVISED PREPARATION OF THE DOCUMENT ON WHICH THE SEAL APPEARS. THAT PERSON AND THE FIRM FOR WHICH THEY ARE EMPLOYED DISCLAIM RESPONSIBILITY FOR ANY PORTIONS OF THE WORK ON WHICH THEIR SEAL DOES NOT APPEAR.



Date: **SEPTEMBER 14, 2000**
 Revised Date:

Sheet Contents
 COMMAND MODULE
 FOUNDATION PLAN

Project Number
080608
 Sheet Number